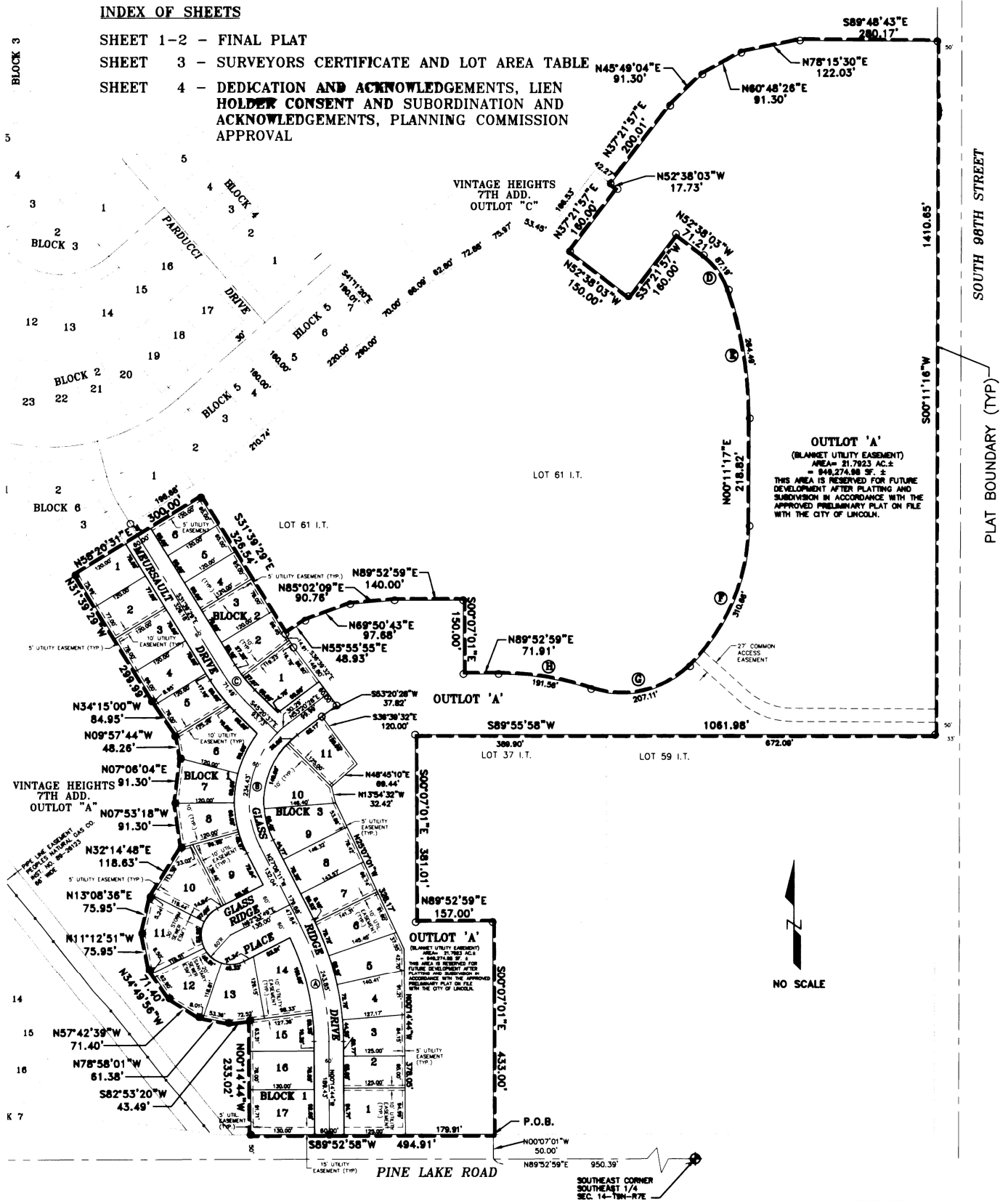


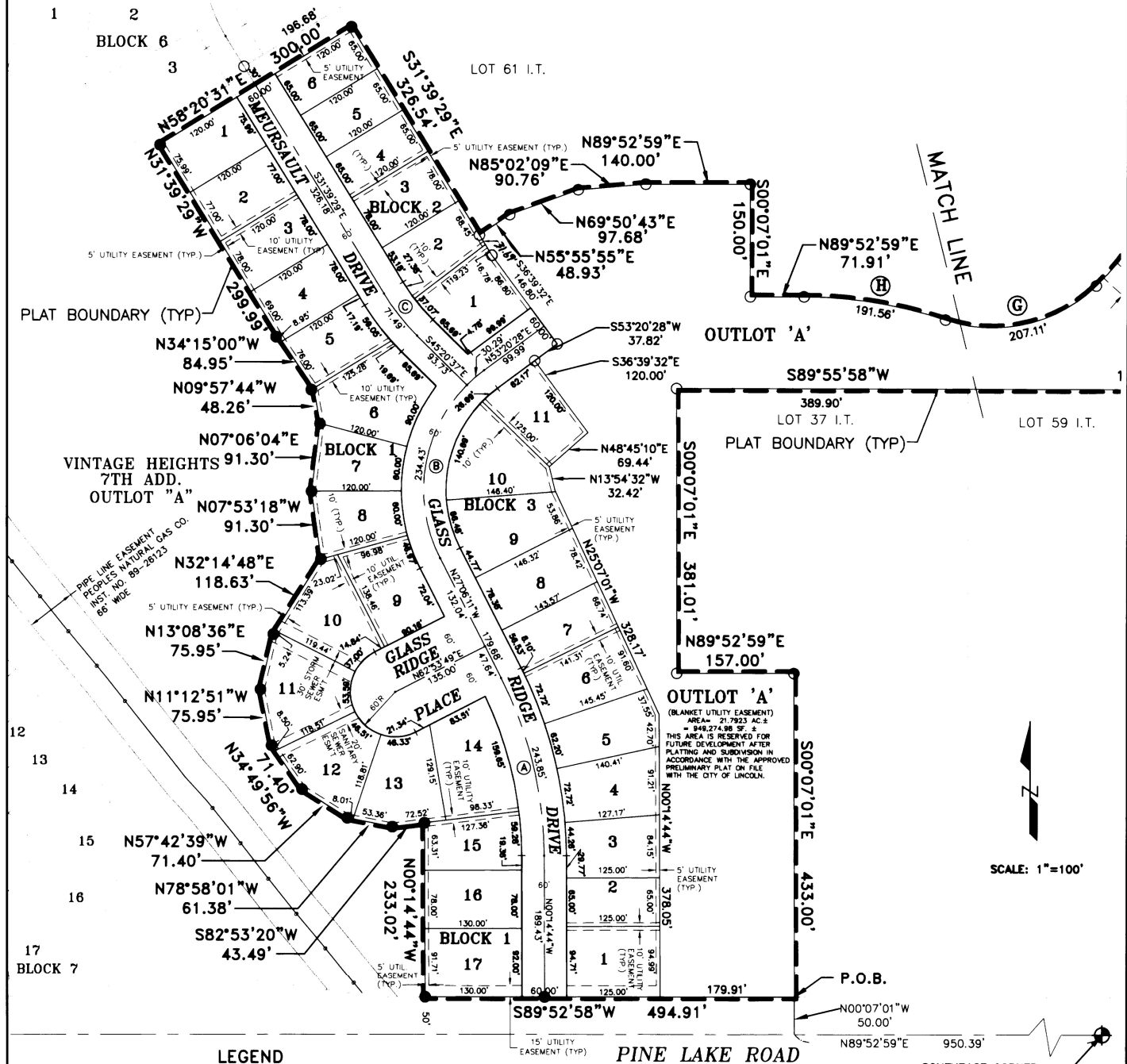
FINAL PLAT
 BASED UPON ~~VINTAGE HEIGHTS~~ 2ND ADDITION
 PRELIMINARY PLAT NO. 99002

Dan J. [Signature]
 REGISTER OF DEEDS
 2002 DEC 16 P 4: 17
 LANCASTER COUNTY, NE

SHEET 1-2 - FINAL PLAT
SHEET 3 - SURVEYORS CERTIFICATE AND LOT AREA TABLE
SHEET 4 - DEDICATION AND ACKNOWLEDGEMENTS, LIEN
HOLDER CONSENT AND SUBORDINATION AND
ACKNOWLEDGEMENTS, PLANNING COMMISSION
APPROVAL



BASED UPON VINTAGE HEIGHTS 2ND ADDITION
PRELIMINARY PLAT NO. 99002



SCALE: 1"=100'

SOUTHEAST CORNER
SOUTHEAST 1/4
SEC. 14-T9N-R7E -

LEGEND

- =Corner Found
 ○=Corner Set
 ⊕=Section Corner
 ---=PROPERTY BOUNDARY
 ---=PROPOSED LOT LINE
 ---=PROPOSED EASEMENT

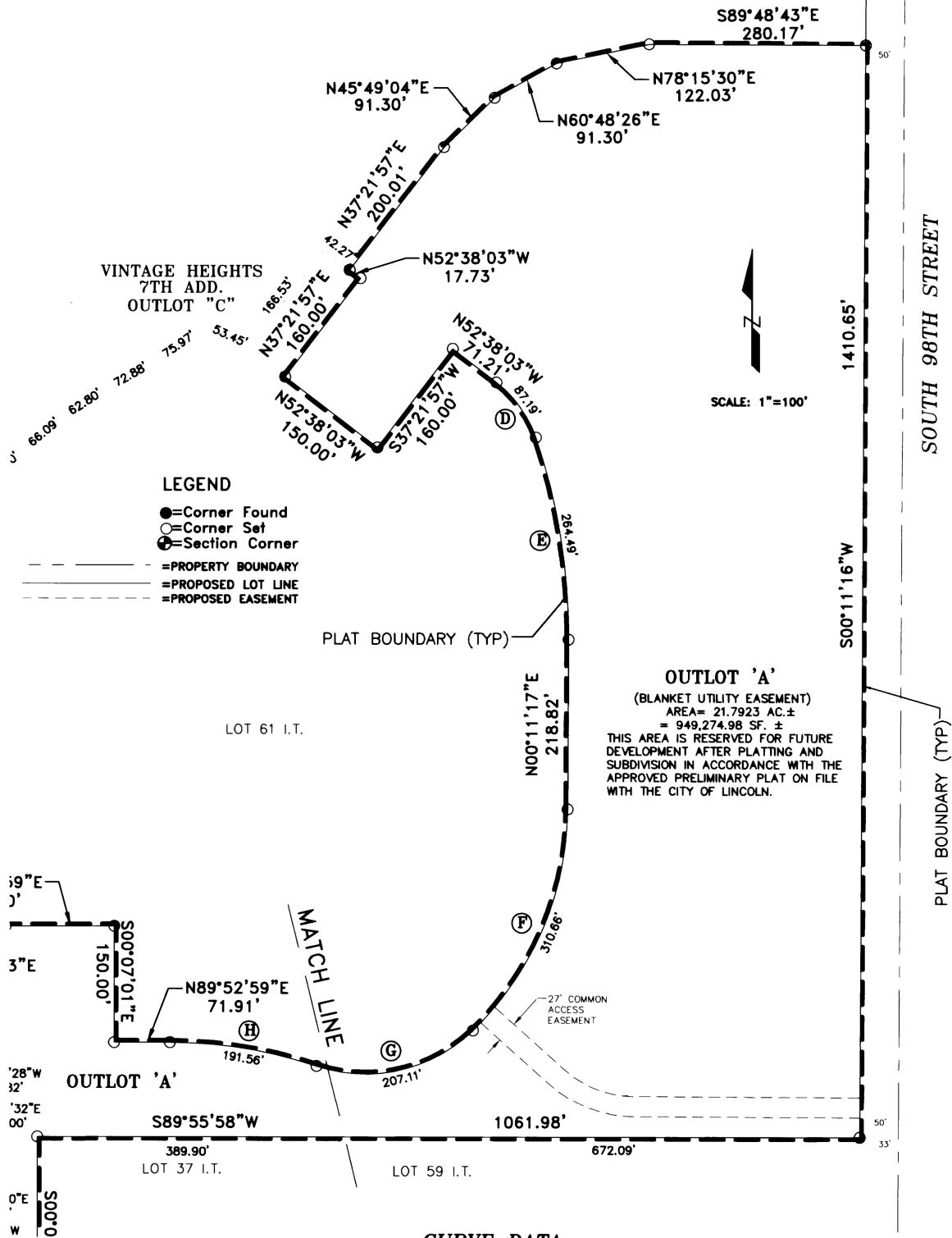
CURVE DATA

- | | | |
|--|--|---|
| (A) $\Delta = 26^{\circ}51'28''$
R = 525.00'
L = 246.10'
T = 125.35'
CB = N13°40'28"W
LC = 243.85' | (B) $\Delta = 80^{\circ}26'39''$
R = 200.00'
L = 280.80'
T = 169.15'
CB = S13°07'08"W
LC = 258.30' | (C) $\Delta = 13^{\circ}41'09''$
R = 300.00'
L = 71.66'
T = 36.00'
CB = S38°30'03"E
LC = 71.49' |
|--|--|---|

VINTAGE HEIGHTS 12TH ADDITION

FINAL PLAT

BASED UPON VINTAGE HEIGHTS 2ND ADDITION
PRELIMINARY PLAT NO. 99002



VINTAGE HEIGHTS 12TH ADDITION

FINAL PLAT

BASED UPON VINTAGE HEIGHTS 2ND ADDITION
PRELIMINARY PLAT NO. 99002

SURVEYOR'S CERTIFICATE

A LEGAL DESCRIPTION OF OUTLOT 'D', VINTAGE HEIGHTS 6TH ADDITION AND LOT 43 IRREGULAR TRACT, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., LINCOLN, LANCASTER COUNTY, NEBRASKA AND MORE FULLY DESCRIBED AS FOLLOWS:

REFERRING TO THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER: THENCE: N89°52'59"W, (AN ASSUMED BEARING), ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 950.39 FEET; THENCE: N00°07'01"W, A DISTANCE OF 50.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF PINE LAKE ROAD AND THE POINT OF BEGINNING; THENCE: S89°52'58"W, ON SAID LINE, A DISTANCE OF 494.91 FEET; THENCE: N00°14'44"W, A DISTANCE OF 233.02 FEET; THENCE: S82°53'20"W, A DISTANCE OF 43.49 FEET; THENCE: N78°58'01"W, A DISTANCE OF 61.38 FEET; THENCE: N57°42'39"W, A DISTANCE OF 71.40 FEET; THENCE: N34°49'56"W, A DISTANCE OF 71.40 FEET; THENCE: N11°12'51"W, A DISTANCE OF 75.95 FEET; THENCE: N13°08'36"E, A DISTANCE OF 75.95 FEET; THENCE: N32°14'48"E, A DISTANCE OF 118.63 FEET; THENCE: N07°53'18"W, A DISTANCE OF 91.30 FEET; THENCE: N07°06'04"E, A DISTANCE OF 91.30 FEET; THENCE: N09°57'44"W, A DISTANCE OF 48.26 FEET; THENCE: N34°15'00"W, A DISTANCE OF 84.95 FEET; THENCE: N31°39'29"W, A DISTANCE OF 299.99 FEET; THENCE: N58°20'31"E, A DISTANCE OF 300.00 FEET; THENCE: S31°39'29"E, A DISTANCE OF 326.54 FEET; THENCE: N55°55'55"E, A DISTANCE OF 48.93 FEET; THENCE: N69°50'43"E, A DISTANCE OF 97.88 FEET; THENCE: N85°02'09"E, A DISTANCE OF 90.76 FEET; THENCE: N89°52'59"E, A DISTANCE OF 140.00 FEET; THENCE: S00°07'01"E, A DISTANCE OF 150.00 FEET; THENCE: N89°52'59"E, A DISTANCE OF 71.91 FEET TO A POINT OF CURVATURE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 18°22'16", A RADIUS OF 800.00 FEET, AN ARC LENGTH OF 192.38 FEET, A CHORD BEARING OF S80°55'53"E, THENCE ON SAID CURVE, A DISTANCE OF 192.38 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT, HAVING A CENTRAL ANGLE OF 82°21'58", A RADIUS OF 200.00 FEET, AN ARC LENGTH OF 217.70 FEET, A CHORD BEARING OF N77°04'18"E, THENCE ON SAID CURVE, A DISTANCE OF 217.70 FEET TO A POINT OF CURVATURE TO THE LEFT, HAVING A CENTRAL ANGLE OF 45°42'02", A RADIUS OF 400.00 FEET, AN ARC LENGTH OF 319.05 FEET, A CHORD BEARING OF N23°02'17"E, THENCE ON SAID CURVE, A DISTANCE OF 319.05 FEET TO A POINT OF TANGENCY; THENCE: N00°11'17"E, A DISTANCE OF 218.82 FEET TO A POINT OF CURVATURE TO THE LEFT, HAVING A CENTRAL ANGLE OF 19°01'48", A RADIUS OF 800.00 FEET, AN ARC LENGTH OF 265.71 FEET, A CHORD BEARING OF N28°49'04"E, A DISTANCE OF 91.30 FEET; THENCE: N80°48'26"E, A DISTANCE OF 17.73 FEET; THENCE: N52°38'03"W, A DISTANCE OF 150.00 FEET; THENCE: N37°21'57"E, A DISTANCE OF 180.00 FEET; THENCE: N52°38'03"W, A DISTANCE OF 17.73 FEET; THENCE: N37°21'57"E, A DISTANCE OF 200.01 FEET; THENCE: N45°49'04"E, A DISTANCE OF 91.30 FEET; THENCE: N80°48'26"E, A DISTANCE OF 17.73 FEET; THENCE: N78°15'30"E, A DISTANCE OF 122.03 FEET; THENCE: S89°48'43"E, A DISTANCE OF 280.17 FEET TO THE WEST ROW LINE OF S. 98TH STREET; THENCE: ON SAID ROW LINE S00°11'18"W, A DISTANCE OF 1410.85 FEET; THENCE: S89°55'58"W, A DISTANCE OF 1081.98 FEET; THENCE: S00°07'01"E, A DISTANCE OF 381.01 FEET; THENCE: N89°52'59"E, A DISTANCE OF 157.00 FEET; THENCE: S00°07'01"E, A DISTANCE OF 433.00 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 31.767 ACRES (34 LOTS & 1 OUTLOT) MORE OR LESS.

PERMANENT MONUMENTS HAVE BEEN FOUND OR SET AT ALL BOUNDARY CORNERS, STREET INTERSECTIONS, BLOCK CORNERS, POINTS OF TANGENCY AND CURVATURE AS SHOWN ON THE PLAT IN ACCORDANCE WITH TITLE 26 OF THE LINCOLN MUNICIPAL CODE. TEMPORARY MARKERS HAVE BEEN PLACED AT ALL LOT CORNERS AND THE OWNER WILL FURNISH TO THE CITY OF LINCOLN A STAKING BOND TO INSURE THE PLACING OF PERMANENT MONUMENTS AT ALL SUCH LOT CORNERS PRIOR TO THE CONSTRUCTION ON OR CONVEYANCE OF ANY LOT SHOWN ON THIS FINAL PLAT. ALL DIMENSIONS ARE CHORD MEASUREMENTS UNLESS OTHERWISE SHOWN, AND ARE IN FEET AND DECIMALS OF A FOOT.

LOT AREA TABLE		
BLOCK 1		
LOT NO.	AREA IN SF.	AREA IN AC.
LOT 1	9,078.71 SF.	0.2084 AC.
LOT 2	9,240.00 SF.	0.2121 AC.
LOT 3	9,360.00 SF.	0.2149 AC.
LOT 4	9,322.18 SF.	0.2140 AC.
LOT 5	9,047.47 SF.	0.2077 AC.
LOT 6	13,876.34 SF.	0.3166 AC.
LOT 7	8,850.70 SF.	0.2032 AC.
LOT 8	8,850.70 SF.	0.2032 AC.
LOT 9	11,717.81 SF.	0.2689 AC.
LOT 10	11,791.92 SF.	0.2707 AC.
LOT 11	12,714.56 SF.	0.2919 AC.
LOT 12	10,987.82 SF.	0.2522 AC.
LOT 13	11,448.00 SF.	0.2628 AC.
LOT 14	13,583.73 SF.	0.3118 AC.
LOT 15	9,134.76 SF.	0.2097 AC.
LOT 16	10,140.00 SF.	0.2376 AC.
LOT 17	11,902.21 SF.	0.2732 AC.
BLOCK 2		
LOT NO.	AREA IN SF.	AREA IN AC.
LOT 1	11,458.88 SF.	0.2631 AC.
LOT 2	8,934.10 SF.	0.2051 AC.
LOT 3	9,360.22 SF.	0.2149 AC.
LOT 4	7,800.17 SF.	0.1791 AC.
LOT 5	7,800.17 SF.	0.1791 AC.
LOT 6	7,800.16 SF.	0.1791 AC.
BLOCK 3		
LOT NO.	AREA IN SF.	AREA IN AC.
LOT 1	11,855.89 SF.	0.2722 AC.
LOT 2	8,125.00 SF.	0.1865 AC.
LOT 3	9,919.74 SF.	0.2277 AC.
LOT 4	10,818.28 SF.	0.2483 AC.
LOT 5	10,319.17 SF.	0.2369 AC.
LOT 6	11,890.40 SF.	0.2684 AC.
LOT 7	9,352.43 SF.	0.2147 AC.
LOT 8	11,380.15 SF.	0.2608 AC.
LOT 9	12,173.88 SF.	0.2795 AC.
LOT 10	11,922.72 SF.	0.2737 AC.
LOT 11	9,850.93 SF.	0.2215 AC.
OUTLOTS		
NO.	AREA IN SF.	AREA IN AC.
A	949,274.98 SF.	21.7923 AC.

DEDICATION

THE FOREGOING PLAT, KNOWN AS VINTAGE HEIGHTS 12TH ADDITION, A SUBDIVISION CONSISTING OF OUTLOT D, VINTAGE HEIGHTS 6TH ADDITION, AND LOT 43 IRREGULAR TRACT, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., CITY OF LINCOLN, LANCASTER COUNTY, NEBRASKA, AND IS MORE FULLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE.

THIS DEDICATION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED, SOLE OWNER(S), AND THE EASEMENTS SHOWN THEREON ARE HEREBY GRANTED IN PERPETUITY TO THE CITY OF LINCOLN, NEBRASKA, A MUNICIPAL CORPORATION, LINCOLN ELECTRIC SYSTEM, ALLTEL COMMUNICATIONS, TIME WARNER ENTERTAINMENT - ADVANCE/NEWHOUSE, AQUILA INC., THEIR SUCCESSORS AND ASSIGNS, TO ALLOW ENTRY FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, REPLACEMENT, REPAIR, OPERATION AND MAINTENANCE OF WIRES, CABLES, CONDUITS, FIXTURES, POLES, TOWERS, PIPES, AND EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICITY, TELEPHONE AND CABLE TELEVISION AND GAS; WASTEWATER COLLECTORS; STORM DRAINS; WATER MAINS AND ALL APPURTENANCES THEREOF, OVER, UPON, OR UNDER THE EASEMENTS AS SHOWN ON THE FOREGOING PLAT.

THE CONSTRUCTION OR LOCATION OF ANY BUILDING OR STRUCTURE, EXCLUDING FENCES, OVER, UPON, OR UNDER ANY EASEMENT SHOWN THEREON SHALL BE PROHIBITED.

THE CONSTRUCTION OR LOCATION OF ANY FENCE OR OTHER IMPROVEMENT WHICH OBSTRUCTS DRAINAGE SHALL BE PROHIBITED OVER, UPON, OR UNDER ANY STORM DRAIN EASEMENT OR DRAINAGE EASEMENT THEREON.

ANY RELOCATION OF EXISTING LES FACILITIES WILL BE AT OWNER EXPENSE

ANY CONSTRUCTION OR GRADE CHANGES IN LES TRANSMISSION LINE EASEMENT CORRIDORS ARE SUBJECT TO LES APPROVAL AND MUST BE IN ACCORDANCE WITH LES DESIGN AND SAFETY STANDARDS. LES DOES NOT WARRANT NOR ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY SUCH DEDICATED EASEMENTS.

LANDSCAPING MATERIAL SELECTIONS WITHIN EASEMENT CORRIDORS SHALL FOLLOW ESTABLISHED GUIDELINES TO MAINTAIN MINIMUM CLEARANCE FROM UTILITY FACILITIES.

THE CITY OF LINCOLN, ITS SUCCESSORS OR ASSIGNS ARE HEREBY HELD HARMLESS FOR THE COST OF REPLACEMENT OR DAMAGE TO ANY IMPROVEMENT OR VEGETATION OVER, UPON, OR UNDER ANY EASEMENT SHOWN THEREON.

THE STREETS SHOWN ARE HEREBY DEDICATED TO THE PUBLIC. DIRECT VEHICULAR ACCESS TO PINE LAKE ROAD FROM LOT 17, BLOCK 1, LOT 1, BLOCK 3, AND OUTLOT A; AND TO S. 98TH STREET FROM OUTLOT A IS HEREBY RELINQUISHED.

WITNESS MY HAND THIS 23 DAY OF October 2002

Robert D. Hampton

ROBERT D. HAMPTON, MANAGING MEMBER
PINE LAKE DEVELOPMENT L.L.C.
A NEBRASKA LIMITED LIABILITY COMPANY

ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA
COUNTY OF LANCASTER

ON THIS 21 DAY OF October 2002, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, DULY COMMISSIONED, QUALIFIED IN AND FOR SAID COUNTY AND STATE, PERSONALLY CAME ROBERT D. HAMPTON, WHO IS PERSONALLY KNOWN TO ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THIS PLAT AS MANAGING MEMBER OF PINE LAKE DEVELOPMENT L.L.C., A NEBRASKA LIMITED LIABILITY COMPANY.

MY COMMISSION EXPIRES ON THE 14 DAY OF Feb 2004 A.D.

Robert A. Lewis
NOTARY PUBLIC



LIEN HOLDER CONSENT AND SUBORDINATION

THE UNDERSIGNED, HOLDER OF THAT CERTAIN LIEN AGAINST THE REAL PROPERTY DESCRIBED IN THE PLAT KNOWN AS VINTAGE HEIGHTS 12TH ADDITION (HEREINAFTER "PLAT"), SAID LIEN BEING RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF LANCASTER COUNTY, NEBRASKA, AS INSTRUMENT NO. 2002-9928 (HEREINAFTER "LIEN"), DOES HEREBY CONSENT TO THE DEDICATION OF AND SUBORDINATE THE LIEN TO ANY UTILITY (SEWER, WATER, ELECTRIC, CABLE TV, TELEPHONE, NATURAL GAS) EASEMENTS OR STREETS, OR ROADS, PEDESTRIAN WAY EASEMENTS, AND ACCESS EASEMENTS AND RELINQUISHMENTS OF ACCESS, DEDICATED TO THE PUBLIC, ALL AS SHOWN ON THE PLAT, BUT NOT OTHERWISE. THE UNDERSIGNED CONFIRMS THAT IT IS THE HOLDER OF THE LIEN AND HAS NOT ASSIGNED THE LIEN TO ANY OTHER PERSON.

PINNACLE BANK

BY Lynette Nelson
LYNETTE NELSON
TITLE: LOAN OFFICER

ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA
COUNTY OF LANCASTER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF October, 2002, BY LYNETTE NELSON, LOAN OFFICER OF PINNACLE BANK, ON BEHALF OF SAID BANK.

MY COMMISSION EXPIRES ON THE 7 DAY OF Jan 2006 A.D.

Missy Pinkman
NOTARY PUBLIC



PLANNING COMMISSION APPROVAL

THE LINCOLN-LANCASTER COUNTY PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT AND ACCEPTED THE OFFER OF DEDICATION ON THIS 21 DAY OF November 2002 BY RESOLUTION NO. PC-00778

ATTEST: [Signature]
CHAIR