



2020-41483

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Recording fees paid:

\$94.00

Pages: 15

Deb Houghtaling

COUNTY CLERK/REGISTER OF DEEDS

By: pm



AMD

(Space above line for recording information)

**SIXTH AMENDMENT  
TO  
KINGSBURY HILLS  
SUBDIVISION AGREEMENT**

This Sixth Amendment to the Kingsbury Hills Subdivision Agreement (hereinafter "Sixth Amendment") made this 17<sup>th</sup> day of November, 2020 ("Effective Date") by and between SANITARY AND IMPROVEMENT DISTRICT NO. 275, a Nebraska political subdivision (hereinafter "DISTRICT"); and the CITY OF PAPILLION, a municipal corporation (hereinafter "CITY") (collectively the "Parties") amends and modifies the subdivision agreement adopted by Resolution #R06-0086, entered into by the parties on April 18, 2006 and filed and recorded with the Sarpy County Register of Deeds as Instrument #2006-20687 as modified by (1) the First Amendment adopted by Resolution #R07-0152, entered into by the Parties on August 7, 2007; (2) the Second Amendment adopted by Resolution #R08-0072, entered into by the Parties on July 15, 2008 and filed and recorded with the Sarpy County Register of Deeds as Instrument #2008-21169; (3) the Third Amendment adopted by Resolution #R15-0025, entered into by the Parties on February 3, 2015 and filed and recorded with the Sarpy County Register of Deeds as Instrument #2015-05381; 4) the Fourth Amendment adopted by Resolution #R15-0060, entered into by the Parties on April 7, 2015 and filed and recorded with the Sarpy County Register of Deeds as Instrument #2015-12263; and the Fifth Amendment adopted by Resolution #R16-0044, entered into by the Parties on April 19, 2016 and filed and recorded with the Sarpy County Register of Deeds as Instrument #2016-08935 (collectively the "Subdivision Agreement").

**RECITALS:**

Stone Creek Plaza, L.L.C. (hereinafter "DEVELOPER"), DISTRICT, and CITY entered into the Original Subdivision Agreement dated April 18, 2006 with respect to Lots 1 through 226, inclusive, and Outlots A through F, Kingsbury Hills; and

DEVELOPER, DISTRICT, and CITY entered into the First Amendment to adopt a revised Source and Use of Funds exhibit.

DEVELOPER, DISTRICT, and CITY entered into the Second Amendment to allow for the replatting and development of a portion of the Development Area.

DEVELOPER, DISTRICT, and CITY entered into the Third Amendment to relief the DISTRICT's obligations for Lincoln Street.

DEVELOPER, DISTRICT, and CITY entered into the Fourth Amendment to allow for the replatting and development of a portion of the Development Area.

DEVELOPER, DISTRICT, and CITY entered into the Fifth Amendment to adopt a revised Source and Use of Funds exhibit.

The Parties desire to modify the Subdivision Agreement having to do with One Call services and to allow for additional park improvements within the Development Area as set forth herein (the "2020 Park Improvements").

**NOW, THEREFORE, IT IS MUTUALLY AGREED AS FOLLOWS:**

1. Incorporation of Recitals. The recitals set forth above are, by this reference, incorporated into and deemed part of the Subdivision Agreement, as modified or amended by this Sixth Amendment.
2. Capitalized Terms. All capitalized terms not otherwise defined herein shall have the respective meanings ascribed to them as set forth in the Subdivision Agreement.
3. Area of Application. The Sixth Amendment applies to Lots 1 – 54, 83 – 124, 143 – 156, 175 – 188 and Outlots A – C and E – F, Kingsbury Hills and Lots 1 – 39 and Outlot A, Kingsbury Hills Replat Two.
4. 2020 Park Improvements. The 2020 Park Improvements shall mean the following improvements as depicted on Exhibit "J":
  - A. Removal of existing play equipment, play structures, and play area surfaces.
  - B. The addition of play equipment, play structures, and play area surfaces.
  - C. Construction and installation of park signage.
  - D. Construction of a basketball court.
  - E. Construction of a sidewalk connecting to the play area.
  - F. Relocation and installation of amenities to include benches and trash receptacles.
  - G. Relocation and installation of landscaping to include trees, shrubs, and ornamental grasses.
5. Obligation for the 2020 Park Improvements. The Parties agree that the 2020 Park Improvements shall be financed using the funds of DISTRICT. The Parties further agree that the entire cost of the 2020 Park Improvements shall not exceed the amount shown on the addendum to Source and Use of Funds attached hereto as Exhibit C-4. Construction overruns and/or change orders totaling up to ten (10%) percent shall be submitted to CITY for approval by City Administrator and City Engineer prior to the work being started.
6. Easements to CITY. DISTRICT agrees to allow CITY to install improvements within Outlot A, Kingsbury Hills Replat Two. For the purpose of this agreement, improvements will be limited to those purposes defined in Nebraska Revised Statute 19-709 for a city to exercise eminent domain. Further, DISTRICT agrees to dedicate, at no expense to CITY, any easements required for said improvements. Such easement dedication shall not be

unreasonably withheld by DISTRICT in order to gain any monetary or non-monetary concessions by CITY, including but not limited to, improvements to any trail, sidewalk, street, park or drainage system, a reduction in water or sewer rates, provision of additional services not traditionally provided to DISTRICT, or commitment to an annexation timeframe.

7. Amendments.

A. Exhibit C-3, and all references thereto, are hereby amended to include the attached Exhibit C-4.

B. Exhibit J is hereby added to the Agreement with respect to the 2020 Park Improvements.

C. Section IX of the Original Subdivision Agreement is hereby rescinded in its entirety and replaced to read as follows:

A. City shall provide public water main, sanitary sewer line, or water main and sewer line locating services as well as any other utilities that City or District is responsible for after District provides as-built drawings on state plane coordinates for all utilities owned and located within the Development Area. Such as-built drawings shall be provided as an Auto-CAD file in addition to hard copy. District shall timely pay to City a corresponding fee at the rate established in the Master Fee Schedule for locates that are reasonably required and performed by City within the Development Area as received over the One Call System, as invoiced by City.

B. City shall invoice District for the required payment for services on an annual basis and District shall have 30 days in which to make payment after receiving such invoice. City shall maintain records of all costs incurred within the Development Area for locating services and District shall have the right to audit and review such records at any time to assure that such records are accurate.

8. DEVELOPER Acknowledgement. DISTRICT and CITY agree that their signing and execution of this Sixth Amendment is not contingent upon the Sixth Amendment being signed and executed by DEVELOPER. DISTRICT and CITY acknowledge that DEVELOPER has no remaining rights or duties under the Subdivision Agreement, that DEVELOPER is not disadvantaged by this Sixth Amendment, and that they waive the requirement of DEVELOPER's signing and execution of any future amendments to the Subdivision Agreement. DISTRICT agrees to assume and perform all of DEVELOPER'S remaining duties, if any, under the Subdivision Agreement and any amendments thereof.

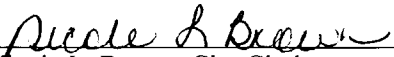
9. No Other Amendment. Except as specifically modified or amended by this Sixth Amendment, the Subdivision Agreement shall remain in full force and effect.

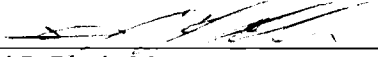
10. Binding Effect. This Sixth Amendment to the Subdivision Agreement shall be binding upon the Parties, their respective successors, and assigns.

*(Signatures on following pages.)*

ATTEST:

THE CITY OF PAPILLION, NEBRASKA

  
\_\_\_\_\_  
Nicole L. Brown, City Clerk

  
\_\_\_\_\_  
David P. Black, Mayor

SEAL:



DISTRICT:

SANITARY & IMPROVEMENT DISTRICT  
NO. 275 OF SARPY COUNTY, NEBRASKA

Date: 11/20/2020

By: [Signature]

Its: Chair

STATE OF NEBRASKA     )  
  )ss.  
COUNTY OF SARPY     )

Before me, a notary public, in and for said county and state, personally came Jim Janicki,  
\_\_\_\_\_ of Sanitary & Improvement District No. 275, known to me to be the identical  
person who executed the above instrument and acknowledged the execution thereof to be his or her  
voluntary act and deed on behalf of such District.

Witness my hand and Notarial Seal this 20 day of November, 2020.



[Signature]  
Notary Public

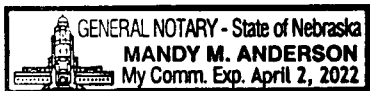
APPROVED AS TO FORM:

[Signature]  
Attorney for Sanitary and Improvement  
District No. 275 of Sarpy County, Nebraska

STATE OF NEBRASKA     )  
  )ss.  
COUNTY OF SARPY     )

Before me, a notary public, in and for said county and state, personally came John Fullenkamp  
Attorney for Sanitary & Improvement District No. 275, known to me to be the identical person who  
executed the above instrument and acknowledged the execution thereof to be his or her voluntary act and  
deed on behalf of such District.

Witness my hand and Notarial Seal this 20 day of November, 2020.



[Signature]  
Notary Public

**SUBDIVISION AGREEMENT AMENDMENT  
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INTRODUCTION STATEMENT

RECITALS

SECTION	1	Incorporation of Recitals
	2	Capitalized Terms
	3	Area of Application
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	5	Obligation for 2020 Park Improvements
	6	Easements to City
	7	Amendments
	8	DEVELOPER Acknowledgement
	9	No Other Amendment
	10	Binding Effect

EXHIBITS:

C-4	Addendum to Source and Use of Funds
J	2020 Park Improvements

## Exhibit C-4, Page 2 of 2

E & A Consulting Group, Inc.  
10909 Mill Valley Road  
Omaha, NE 68154

**Bid Tabulations**  
**SID: 275**  
**Subdivision: KINGSBURY HILLS**  
**Project Type: 2019 PARK IMPROVEMENTS**

Bid Date: 5/15/19  
E&A Project No. P2004.225.015  
Engineer's Est: \$193,300.00  
Page 1 of 1

				Dostals Construction Co. Inc. 13680 S. 220th Street Gretna, NE 68028							
Bid Item	Description	Quantity	Unit	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	6' x 5" CONCRETE SIDEWALK WITH SUBGRADE PREP & BACKFILL	1,885	SF	6.00	11,310.00						
2	5" CONCRETE BENCH PAD	96	SF	6.00	576.00						
3	6" FIBER MESH CONCRETE W/ 6" AGGREGATE BASE (1/2 BBALL COURT)	2,970	SF	8.00	23,760.00						
4	VERSA COURT (COLORS TO BE SPECIFIED BY ENGINEER)	1	LS	16,000.00	16,000.00						
5	BASKETBALL OUTFIT (POST, BACKBOARD, RIM & NYLON NET)	1	LS	3,000.00	3,000.00						
6	THICKENED EDGE AT PLAYGROUND SIDEWALK	192	LF	12.00	2,304.00						
7	RUBBER SURFACING WITH CONCRETE BASE	1,095	SF	22.00	24,090.00						
8	SAND SURFACING	180	TN	35.00	6,300.00						
9	6" PARK BENCH	2	EA	750.00	1,500.00						
10	TRASH RECEPTACLE	1	EA	750.00	750.00						
11	SINGLE BOBBLE SPRING RIDER	1	EA	1,800.00	1,800.00						
12	OODLE SWING	1	EA	8,000.00	8,000.00						
13	GLOBAL MOTION	1	EA	34,000.00	34,000.00						
14	CLIMBING ROCK (ADVENTURESCAPE - DESIGN # 7)	1	EA	71,000.00	71,000.00						
15	4" PERFORATED DRAIN PIPE	245	LF	20.00	4,900.00						
16	6" SOLID DRAIN PIPE	40	LF	20.00	800.00						
17	SITE GRADING	1	LS	6,500.00	6,500.00						
18	SEED & MAT ALL DISTURBED AREAS	1	LS	4,000.00	4,000.00						
19	TREES	8	EA	500.00	4,000.00						
20	SHRUBS	11	EA	50.00	550.00						
21	NATIVE GRASSES	38	EA	16.00	608.00						
22	MULCH	1	LS	1,300.00	1,300.00						
23	RELOCATE EXISTING TREES	5	EA	300.00	1,500.00						
24	RELOCATE EXISTING BENCH	1	LS	200.00	200.00						
25	REMOVE & DISPOSE EXISTING 8" CONCRETE CURB	132	LF	15.00	1,980.00						
26	REMOVE & DISPOSE EXISTING CONCRETE BENCH PAD	55	SF	2.00	110.00						
27	REMOVE & DISPOSE EXISTING SINGLE SPRING RIDER	1	LS	100.00	100.00						
28	RAISE MANHOLE TO GRADE	1	LS	300.00	300.00						
<b>TOTAL BASE BID (ITEMS 1-28, INCLUSIVE)</b>					<b>231,238.00*</b>						

\* CORRECTED TOTAL BASE BID

Exhibit C-4, Page 1 of 2

**ADDENDUM TO SOURCE AND USE OF FUNDS**  
**SID NO. 275 - KINGSBURY HILLS**  
**FOR SIXTH AMENDMENT TO SUBDIVISION AGREEMENT**

As of August 1, 2020

<u>VALUATION</u>	<u>VALUE</u>	<u>NET DEBT TO VALUE</u>
2020	\$67,719,881	5.29%

**CASH AND INVESTMENTS AS OF 7/31/20**

	<u>GENERAL FUND</u>	<u>BOND FUND</u>
CASH	\$244,075.62	\$629,484.05
INVESTMENTS	<u>0.00</u>	<u>0.00</u>
TOTAL CASH AND INVESTMENTS	\$244,075.62	\$629,484.05

**SPECIAL ASSESSMENTS** All Special Assessments have been  
Levied and Paid in Full

**BONDS OUTSTANDING**

<u>DATE OF ISSUE</u>	<u>ISSUE AMOUNT</u>	<u>BALANCE</u>	<u>REMAINING AVERAGE ANNUAL DEBT SERVICE</u>
11/15/16	\$2,450,000.00	\$2,215,000.00	\$174,944
10/15/19	\$2,000,000.00	\$2,000,000.00	\$137,766
	\$4,450,000.00	\$4,215,000.00	\$312,709

**APPROVED COST OF PARK IMPROVEMENTS**      **\$231,238.00**

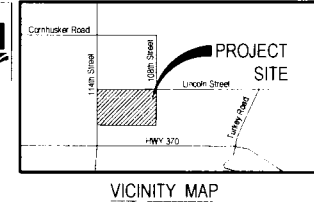
**WARRANTS OUTSTANDING - NO WARRANTS OUTSTANDING**

**DEBT TO VALUE AS OF 9/8/2020 - 5.29%**

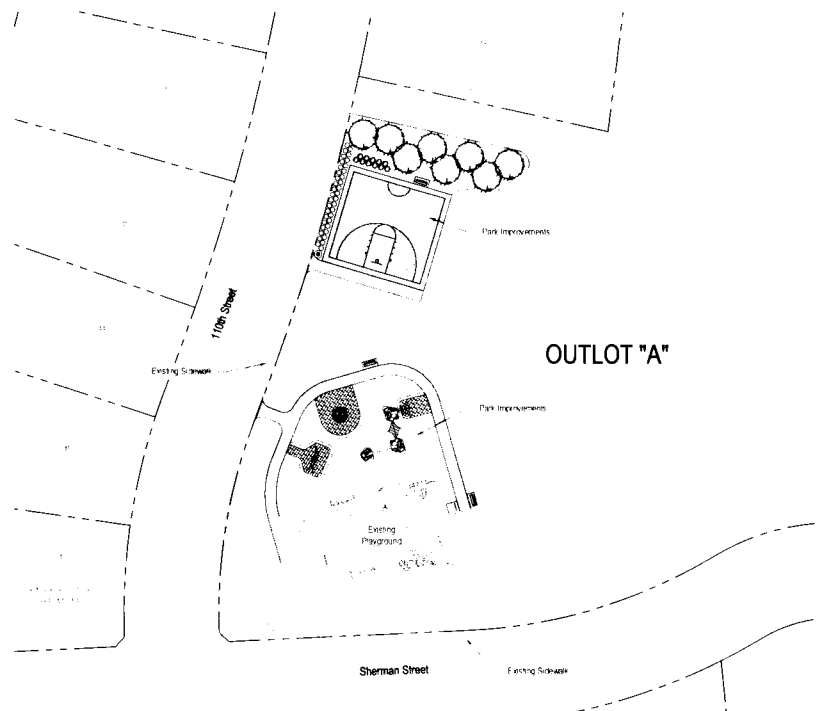
**DEBT TO VALUE WITH PARK IMPROVEMENTS - 5.70%**



Improvement Plans for  
**KINGSBURY HILLS**  
 2019 PARK IMPROVEMENTS  
 S.&I.D. NO. 275  
 Sarpy County, Nebraska

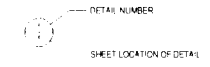


APPROXIMATE QUANTITIES		
ITEM	DESCRIPTION	QUANTITY
1	6" x 5" CONCRETE SIDEWALK W/ SUBGRADE PREF & BACKFILL	1,865 SF
2	5" CONCRETE BENCH PAD	95 SF
3	6" FIBER MESH CONCRETE W/ 6" AGGREGATE BASE (1/2 BALL COURT)	2,970 SF
4	VERSAT COURT COOLING TO BE SPECIFIED BY ENGINEER	1 LS
6	BASKETBALL OUTFIT (POST, BACKBOARD, RIMA & NYLON NET)	1 LS
6	THICKENED EDGE AT PLAYGROUND SIDEWALK	192 LF
7	RUBBER SURFACING WITH CONCRETE BASE	1,095 SF
8	SAND SURFACING	180 TN
9	6" PARK BENCH	2 EA
10	TRASH RECEPTACLE	1 EA
11	SINGLE BOBBLE SPRING RIDER	1 EA
12	ODDLE SWING	1 EA
13	GLOBAL MOTION	1 EA
14	CLIMBING ROCK (ADVENTUREScape - DESIGN # 7)	1 EA
15	4" PERFORATED DRAIN PIPE	245 LF
16	4" SOLID DRAIN PIPE	40 LF
17	SOIL GRADING	1 LS
18	SEED & MULCH ALL DISTURBED AREAS	1 LS
19	TREES	8 EA
20	SHRUBS	11 EA
21	NATIVE GRASSES	30 EA
22	MULCH	1 LS
23	RELOCATE EXISTING TREES	5 EA
24	RELOCATE EXISTING BENCH	1 EA
26	REMOVE & DEPOSE EXISTING 6" CONCRETE CURB	132 LF
26	REMOVE & DEPOSE EXISTING CONCRETE BENCH PAD	55 SF
27	REMOVE & DEPOSE EXISTING SINGLE SPRING RIDER	1 LS
28	RAISE MANHOLE TO GRADE	1 LS



**INDEX OF SHEETS**

SHEET No.	DESCRIPTION
1	COVER SHEET
2	REMOVAL PLAN
3	SIDEWALK AND BASKETBALL COURT PLAN
4	DIMENSION AND AMENITY PLAN
5	CONSTRUCTION DETAILS
6	CONSTRUCTION DETAILS
7	LANDSCAPE PLAN



- GENERAL NOTES**
- All work shall be performed in accordance with the City of Omaha Standard Specifications for Public Works Construction, 2014 Edition, and any current revisions or amendments thereto. The City of Omaha Parks Department standards and the Special Provisions for this project shall apply and the Contractor shall perform in accord therewith.
  - The Contractor shall be responsible to construct a completed park as shown on these plans to include the approximate quantities. All park equipment shall be assembled according to the manufacturer's approximate quantities recommendations.
  - It is the intent of these plans to permit the Contractor to supply any of the materials or equipment specified or offer an equivalent. The Engineer shall determine whether the material or equivalent offered is equivalent to that specified. Whenever any particular material or equipment is indicated by patent, proprietary or brand name, or by name of manufacturer, such wording is used for the purposes of facilitating its description and that it is deemed to be followed by the word "or equal". The Contractor may offer any material or equipment which he considers to be equivalent to that indicated.
  - All colors shall be specified by the Engineer.
  - Locate and verify the location of all underground utilities prior to the start of any construction. Care should be taken not to disturb any existing utilities during construction. Any damage to utilities or other improvements caused by the Contractor will be repaired at no cost to the Owner.
  - Contractor must provide a minimum of 5 projects in the past 5 years of similar scope and size of project to be eligible for bid acceptance.
  - Contractor must be CPSI certified and be present on site during entire project installation to be eligible for bid acceptance.

- GRADING NOTES**
- Topographic survey is by E&A Consulting Group, Omaha, NE (402) 894-4700. Contour interval is 2 foot.
  - The Contractor shall take care to locate and protect existing utilities from damage caused by construction activities. Any damage which occurs to existing utilities is the responsibility of the Contractor and shall be repaired at the Contractor's expense.
  - All dimensions and elevations marked with an asterisk (\*) shall be first verified prior to construction. Notify the Engineer of any conflicts with the drawings prior to construction.
  - Grading shall be accomplished in accordance with Section 200.00 Grading and Site Preparation of the Omaha Standard Specifications.
  - Proposed corners and spot elevations are controls and shall be graded to a tolerance of +/- 1/4" foot. All grading shall be smooth and continuous. All surface shall have positive drainage.
  - Provide positive drainage at all times within the construction area and do not allow water to pool in excavation areas or near structures. Maintain all existing drainage patterns except as modified by the plans.
  - Take the necessary measures to prevent soil erosion during the construction process. This shall include the erection and maintenance of silt fencing at locations indicated on the plans or required in the field to prevent soil loss or waterway pollution. Maintain silt fence and remove sediment as required. Remove silt fence only after establishment of new turf crop.
  - Clear and grub all vegetation for areas to be graded. Separate organic material from associated gravel and irregularly dispose of organic material off site.
  - Maximum longitudinal sidewalk grade shall be 2% (20 ft) unless indicated otherwise on the drawings. Notify the Engineer of any inability to achieve this maximum slope. Maximum cross slope shall be 2%. Where longitudinal slopes exceed 3% maximum cross slope shall be 1%.

- SEEDING NOTES**
- Seed 4' on either side of disturbed areas with a rate of 10 lbs per 1,000 S.F. United Seeds Super Turf II.
  - All seeded areas to have straw mulch applied and spiked in.
  - Seed to be installed as per City of Omaha specifications 2013 edition, section 803.

**E & A CONSULTING GROUP, INC.**  
 Engineering • Planning • Environmental & Field Services  
 1500 MAUMELLE ROAD, SUITE 200 - OMAHA, NE 68154  
 PHONE: 402.491.7070 FAX: 402.491.7075  
 WWW.EAGROUP.COM

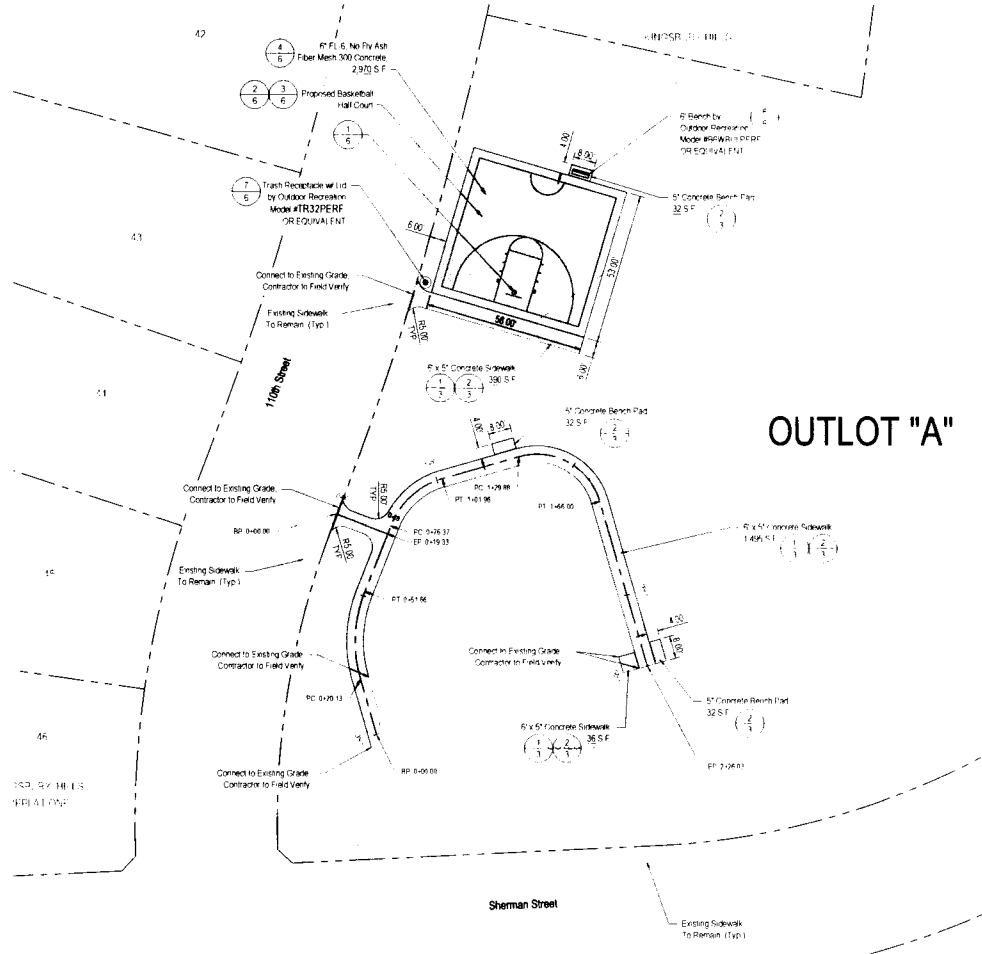
**E & A CONSULTING GROUP, INC.**  
 Engineering • Planning

**Exhibit J, Page 1 of 7**  
**KINGSBURY HILLS**  
 2019 PARK IMPROVEMENTS  
 S&I.D. NO. 275  
 DODD & NEBRASKA

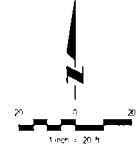
**COVER SHEET**

Project No.	2019-1133-01	Revision	
Date	05/09/2019	Date	
Drawn by	MAE	Issue	01
Checked by	MAE	Revision	
Scale	AS SHOWN		
Sheet	1	of	7





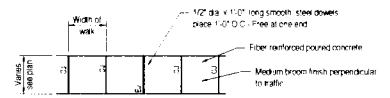
**OUTLOT "A"**



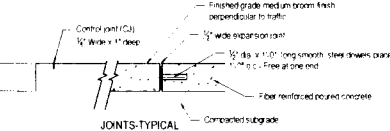
**LEGEND**  
 [Symbol] Proposed 5' Concrete Sidewalk (5' Thick)

**SIDEWALK CONSTRUCTION NOTES**

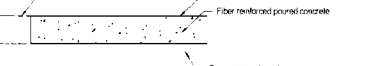
1. Sidewalk subgrade shall be prepared and compacted in accordance with City of Omaha Specifications for Public Works Construction. Subgrade preparation shall not be reactive directly below or incidental to the construction.
2. Concrete for the sidewalk shall be 5' thick concrete class 125, an enhanced concrete made from Type I Portland Cement in accordance with the City of Omaha Specifications for Public Works Construction, unless otherwise shown on plans.
3. Water-reducing admixture shall be added to all hand placed and finished concrete.
4. Finishing width shall be 4 feet unless otherwise shown on the plans.
5. A diamond edge saw blade shall be used for cutting all required contraction and longitudinal pavement joints. Joints shall be spaced approximately 5 feet apart. Joints shall be sealed according to the Specifications.
6. Within one (1) hour the concrete pavement shall be cured using a white pigmented liquid membrane forming curing compound that has been approved by the State of Nebraska Department of Roads. Apply liquid membrane forming curing compound at the concentration and application rate recommended by the manufacturer.



**PLAN VIEW**  
 Expansion joints (E) and control joints (C) shall be placed as shown on the drawings.



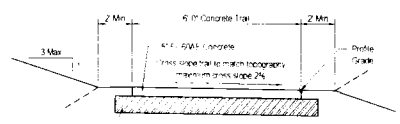
**JOINTS-TYPICAL**



**TYPICAL SECTION**

**NOTE**  
 Where new concrete pavement abuts existing concrete, Contractor shall install 1/2" expansion joint with dowels.

**NOTE**  
 Concrete thickness may be reduced to 5" if 5' deep concrete forms are used. If 5' deep forms are not used then 2x6" lumber shall be used for forms. 2x4" lumber shall not be used as forms for concrete pavement.



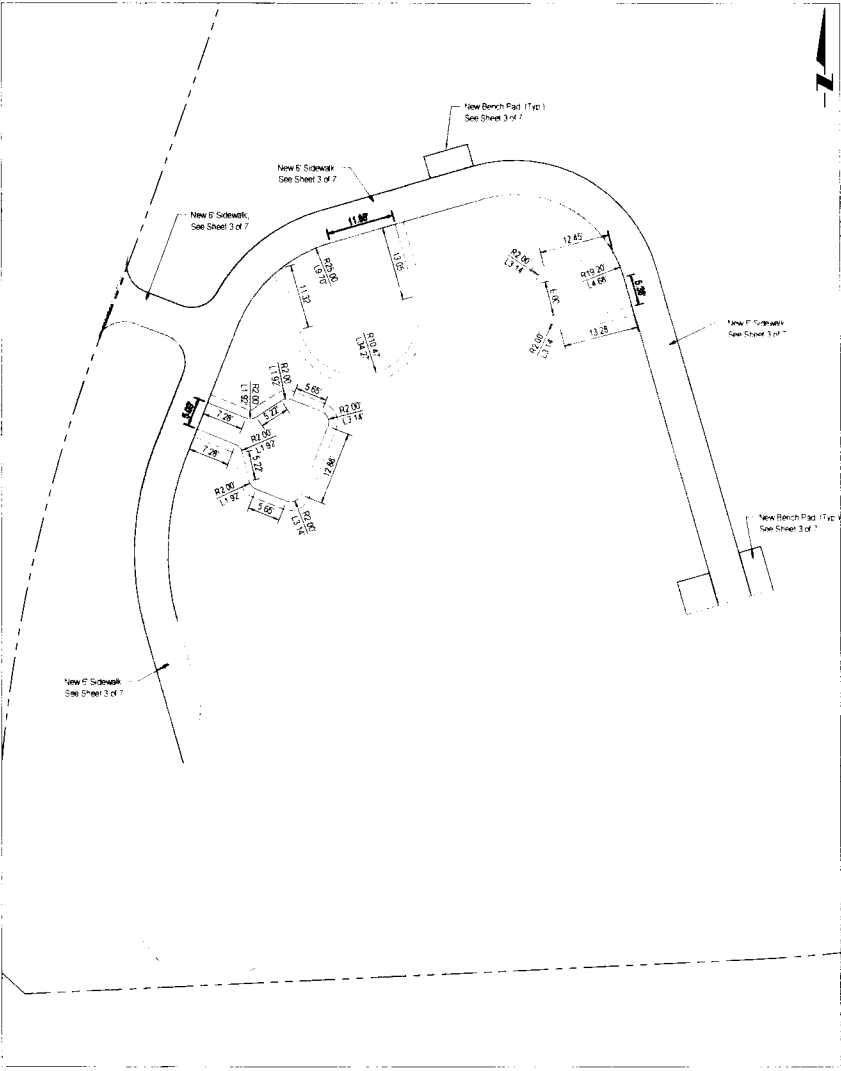
NOTE: Curb grade shall be 90% max. Dry density as determined by ASTM D1557 (modified method) with moisture limits of .3% to .4% optimum (Subgrade prep. to be included in price bid for concrete sidewalk.)

**TYPICAL SECTION**  
 NOT TO SCALE

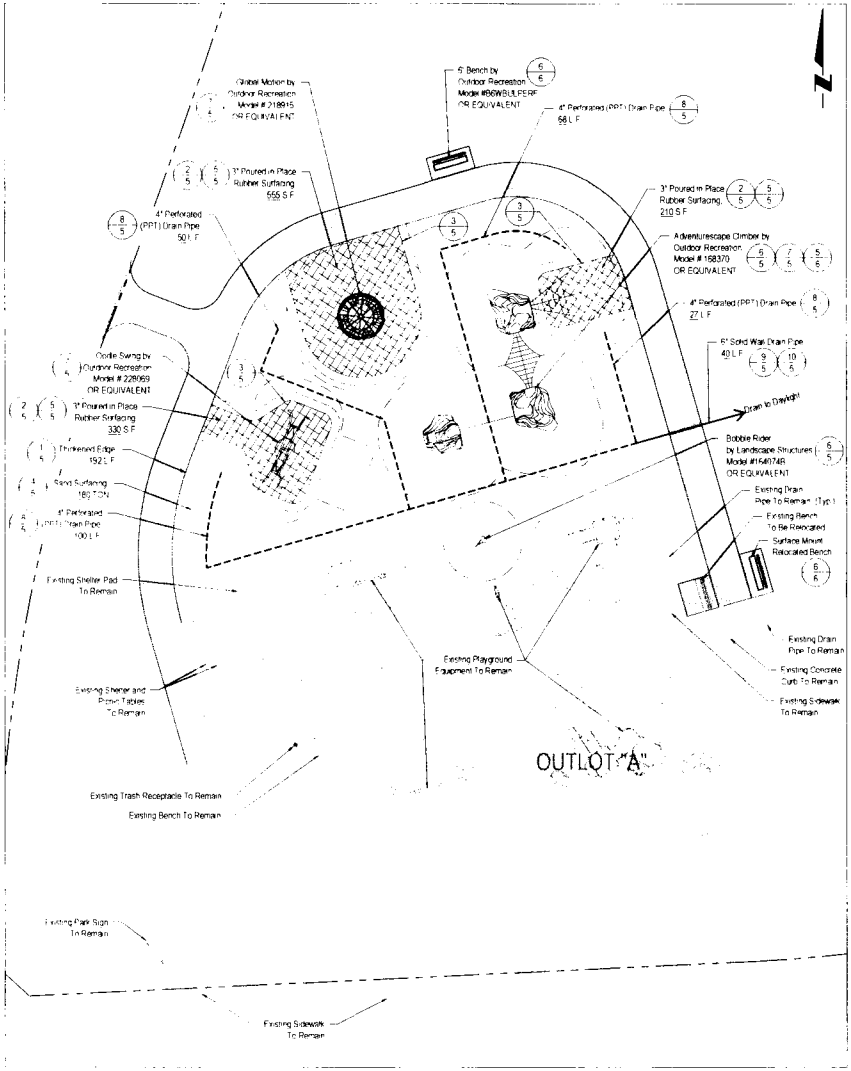
**CONCRETE WALK PAVEMENT**  
 NOT TO SCALE



DATE	DESCRIPTION	BY	CHKD.
2/26/2013	Issue	AW	AW
3/25/2013	Revised	AW	AW
4/15/2013	Final	AW	AW
5/1/2013	Final	AW	AW

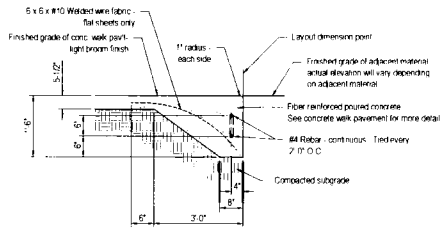


**DIMENSION PLAN**  
 SCALE: 1" = 10'

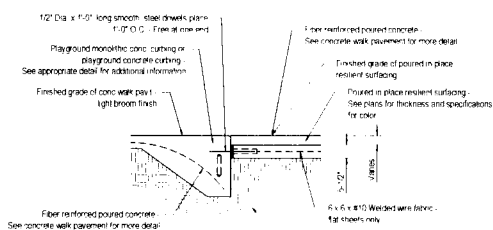


**AMENITY PLAN**  
 SCALE: 1" = 10'

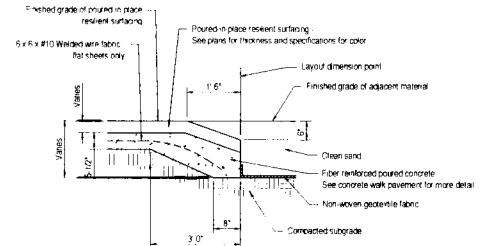
NO.	DESCRIPTION	DATE	BY	CHKD.	APP.
1	DESIGNED				
2	DRAWN				
3	CHECKED				
4	APPROVED				
5	AS BUILT				



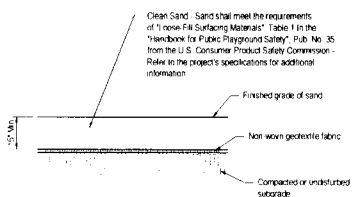
1 PLAYGROUND MONOLITHIC CONC. CURBING  
NOT TO SCALE



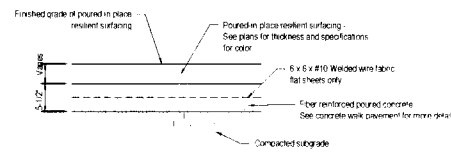
2 RESILIENT SURFACING - CONC. PAVT EDGE  
NOT TO SCALE



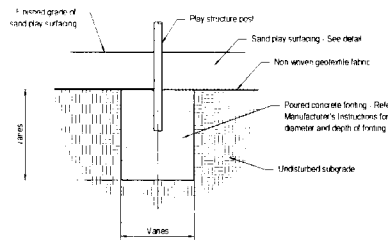
3 RESILIENT SURFACING - ANGLED EDGE  
NOT TO SCALE



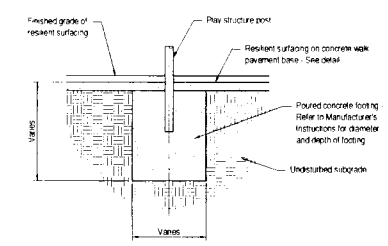
4 SAND PLAY SURFACING  
NOT TO SCALE



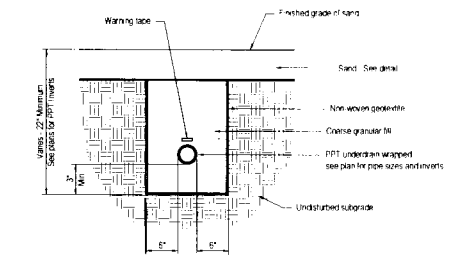
5 RESILIENT SURFACE W/ CONC. BASE  
NOT TO SCALE



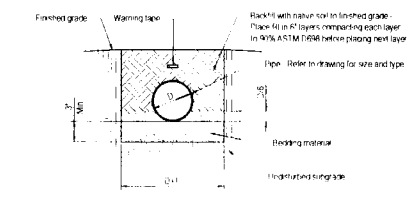
6 PLAY EQUIPMENT FOOTINGS UNDER SAND PLAY SURFACING - TYPICAL  
NOT TO SCALE



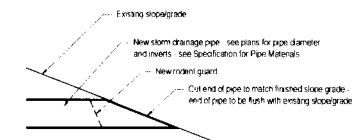
7 PLAY EQUIPMENT FOOTINGS UNDER RESILIENT SURFACING - TYPICAL  
NOT TO SCALE



8 PPT UNDERDRAIN - UNDER PLAYGROUND  
NOT TO SCALE

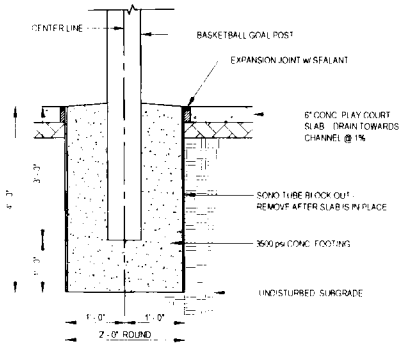


9 STORM DRAINAGE SOLID WALL PIPE BEDDING  
NOT TO SCALE

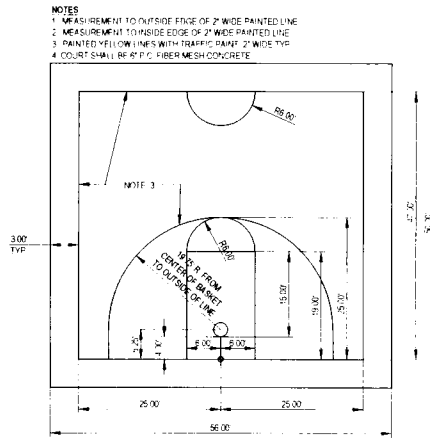


10 NEW STORM DRAINAGE PIPE END  
NOT TO SCALE

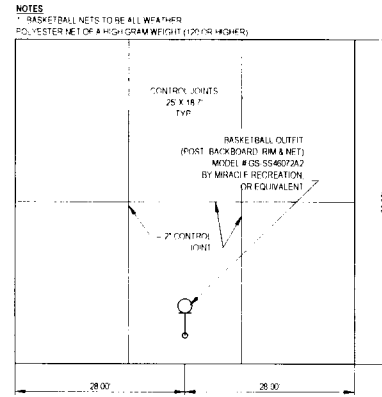
Sheet No.	Revision	Description
1	AS	Issue
2	MS	Issue
3	MS	Issue
4	AS	Issue
5	AS	Issue



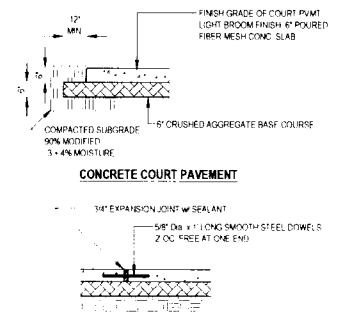
**BASKETBALL COURT GOAL POST**  
NOT TO SCALE



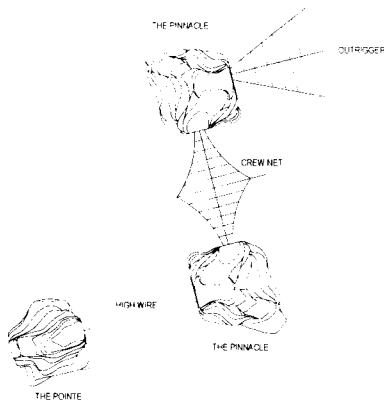
**BASKETBALL HALF COURT STRIPING PLAN**  
NOT TO SCALE



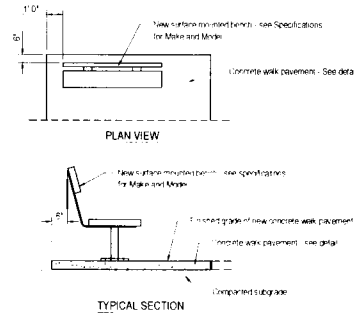
**BASKETBALL HALF COURT JOINTING PLAN**  
NOT TO SCALE



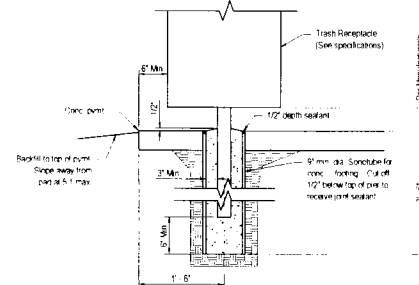
**BASKETBALL COURT DETAILS**  
NOT TO SCALE



**ADVENTURESCAPE CLIMBER # 7**  
NOT TO SCALE

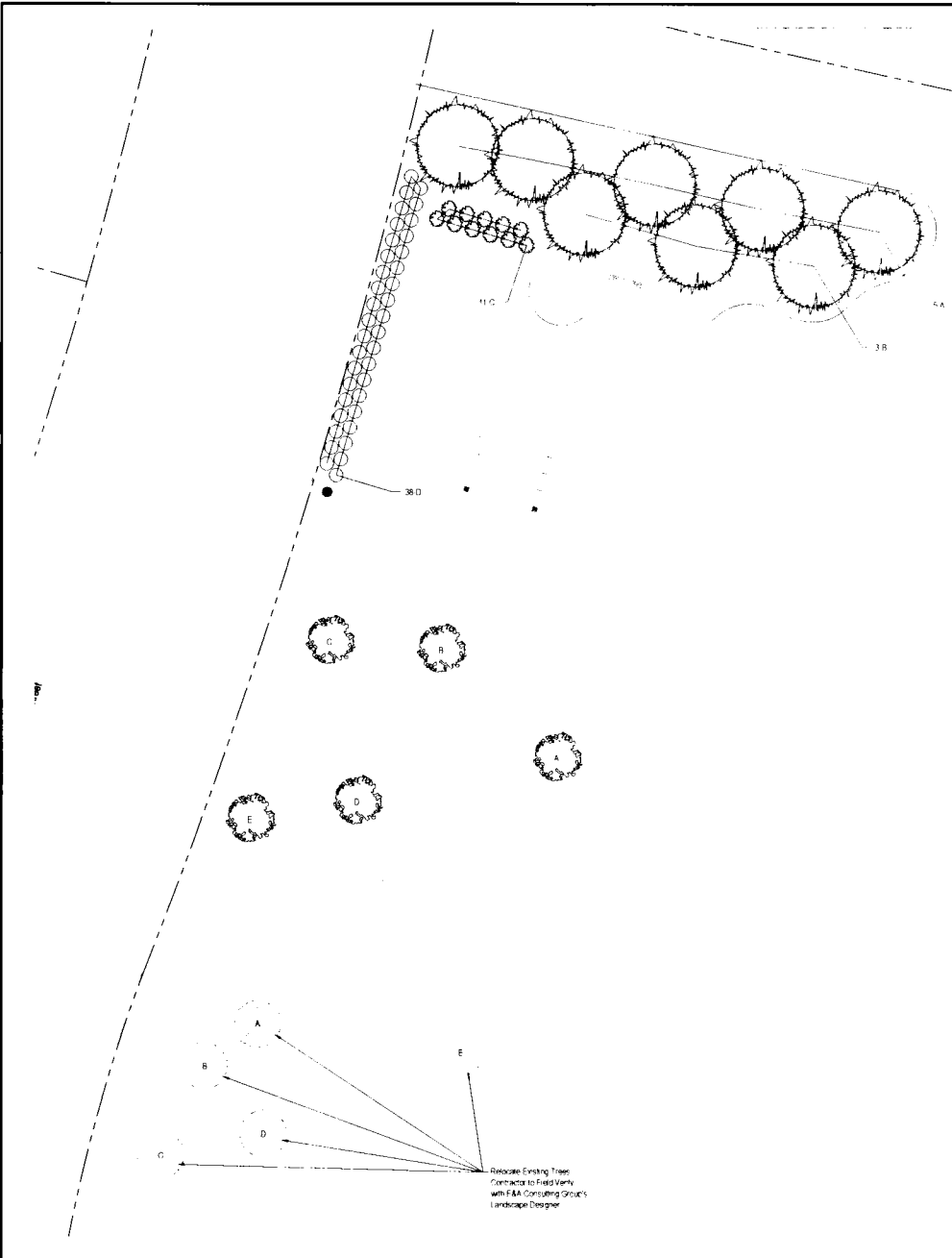


**BENCH - SURFACE MOUNTED**  
NOT TO SCALE



**TRASH RECEPTACLE FOOTING**  
NOT TO SCALE

Rev.	Date	Description
1	05/20/2014	ISSUED FOR PERMIT
2	06/10/2014	ISSUED FOR PERMIT
3	06/10/2014	ISSUED FOR PERMIT
4	06/10/2014	ISSUED FOR PERMIT
5	06/10/2014	ISSUED FOR PERMIT



### PLANT SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
A	5	<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	8'-9"	B&B
B	3	<i>Abies concolor</i>	Concolor Fir	8'-9"	B&B
C	11	<i>Euonymus alatus compactus</i>	Dwarf Burning Bush	5 Gal	Cont
D	38	<i>Calamagrostis</i> 'Karl Foerster'	Karl Foerster Grass	2 Gal	Cont

**TREE NOTES**

- 1. Landscape contractor must coordinate with all utilities and general contractor to field verify all utility locations that may conflict with all proposed tree planting locations on the project site.

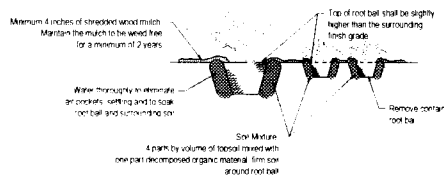
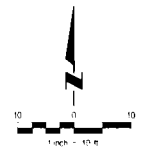
**LEGEND**

- Existing trees to be relocated (with corresponding letter)
- ⊗ Relocated trees (with corresponding letter)

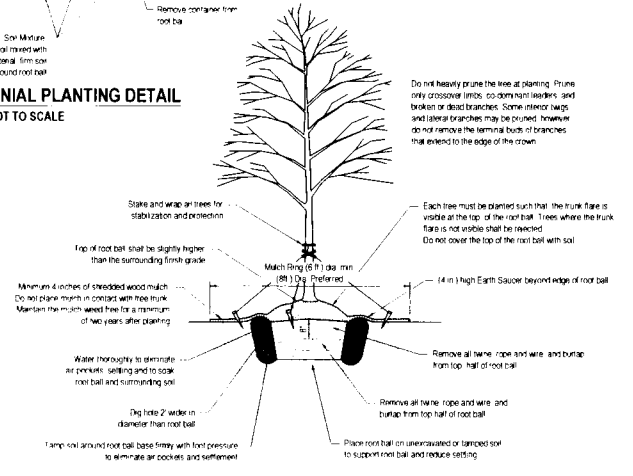
**LANDSCAPE NOTES**

1. Locate and verify the location of all underground utilities prior to the start of any construction. Care should be taken not to disturb any existing utilities during construction. Any damage to utilities or other improvements caused by the Contractor will be repaired at no cost to the Owner.
2. All plant material shall be of good quality and sizes shall meet required size specifications.
3. All plants are to be watered immediately after planting and then watered once a week for a period of two months from time of planting.
4. All plant material shall be guaranteed to be a live and healthy growing condition for two full growing seasons (three) and one full growing season (one) thereafter. Final project acceptance or shall be replaced free of charge with the same grade and species including labor.
5. Verify all dimensions and conditions prior to starting construction. The location of plant material is critical and shall be installed as indicated on plans. Field adjustments may be necessary based on field conditions (i.e. root ball and top-soil conflict). All adjustments must be approved by the landscape architect.
6. The landscape contractor shall remove all construction debris and materials injurious to plant growth from planting pits and beds prior to backfilling with planting mix. All planting areas shall be free of weeds and debris prior to any work.
7. Provide locally available shredded hardwood mulch on all trees and in all planting beds to a 3.4 inch minimum depth unless otherwise noted. Mulching to extend 1'-0" minimum beyond planting pit. Minor site grading to be included if needed.
8. All trees are to be staked for a period of not less than one year from time of planting.
9. Contractor to coordinate work with other amenity contractors.

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**SHRUB & PERENNIAL PLANTING DETAIL**  
 NOT TO SCALE



**TREE PLANTING DETAIL - B & B TREE**  
 NOT TO SCALE

Relocate Existing Trees  
 Contractor to Field Verify  
 with E&A Consulting Group's  
 Landscape Designer



NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/20/2024	ISSUED FOR PERMIT	JL	ML
2	08/20/2024	ISSUED FOR PERMIT	JL	ML
3	08/20/2024	ISSUED FOR PERMIT	JL	ML
4	08/20/2024	ISSUED FOR PERMIT	JL	ML
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