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Deb Houghtaling
COUNTY CLERK/REGISTER OF DEEDS

By: jby

PER

THIS PAGE ADDED FOR RECORDING INFORMATION.

DOCUMENT STARTS ON NEXT PAGE.

Deb Houghtaling

SARPY COUNTY CLERK/ REGISTER OF DEEDS
RENEE LANSMAN, DEPUTY
1210 GOLDEN GATE DRIVE
PAPILLION, NE 68046-2842
402-593-5773

City of La Vista
Conditional Use Permit

Conditional Use Permit for Convenience Store with Limited Fuel Sales

This Conditional Use Permit issued this 21 day of JAN, 2020, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, Casey's Retail Company ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales) upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 3, Harrison Hills, La Vista, Nebraska.

WHEREAS, Owner has applied for a conditional use permit for the purpose of constructing and operating a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales); and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to Owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the Owner to use the area designated on Exhibit "A" hereto for a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales), said uses hereinafter being referred to as "Permitted Use" or "Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights or obligations granted or imposed by this permit shall run with the land, are transferable, and shall be binding on any successors or assigns. Any deviation from or breach of any terms hereof shall automatically cause permit to expire and terminate.

2. In respect to the proposed Permitted Use:
   a. Operations on the property will be limited to and be carried out in accordance with the Operational Statement/Project Narrative attached as Exhibit "B" and incorporated into this permit by reference.
   b. The premises shall be developed and maintained in accordance with the CUP Plan Set ("Exhibit C") as presented to the City Council on January 21, 2020 and incorporated herein by this reference. Any modifications must be submitted to the La Vista Planning Department for approval.
   c. Hours of operation for convenience store will be 24 hours a day, seven days a week.
   d. There shall be no storage, placement or display of goods, supplies or any other material, substance, container or receptacle outside of the convenience store, except as approved in writing by the City.

e. Due to anticipated traffic impacts detailed within the Traffic Impact Analysis (Exhibit D), traffic signal improvements to the existing signal at 118th Street and Harrison Street may be required by the City of Omaha. Prior to the issuance of a Certificate of Occupancy, Casey's will be required to make any signal improvements required by the City of Omaha.
f. The City acknowledges that the Use will involve the construction, placement and maintenance of underground motor fuel storage tanks and gasoline dispensing pumps (permitted structures) on the premises. The structures shall be constructed, maintained and operated in a safe and responsible manner, and in accordance with any applicable laws, rules or regulations, including, but not limited to, applicable environmental or safety laws, as amended or in effect from time to time, and shall not cause, or create risk of injury or damage to, or loss of life, property or the environment. The owner shall make annual inspections of the premises and structures, and the operation thereof for any hazard or risk, including, but not limited to, those of an environmental or safety nature. The owner shall take immediate action to protect persons, property and the environment from any damage, injury or loss, or risk thereof, arising out of or resulting from any hazard or risk on the premises, including, but not limited to, hazard or risk involving the permitted structures, that is discovered or should be discovered (including, but not limited to, those of an environmental or safety nature) and to abate any hazard or risk and remove it from the premises in accordance with any applicable laws, rules or regulations, as amended or in effect from time to time.
g. Owner shall obtain all required permits, including without limitation all required permits of the City of La Vista, and shall comply with any additional requirements as determined by the La Vista Planning Department or other applicable authorities.
h. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local laws, rules, or regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
i. Owner hereby indemnifies the city against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the Owner, or any agents, employees, assigns, suppliers or invitees of Owner, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
j. Any exhibit attached to this permit is hereby incorporated by reference.

3. In respect to the Gateway Corridor Design Guidelines design criteria:
   a. Building Exterior
      i. The convenience store shall be constructed and maintained in accordance with the CUP Plan Set (Exhibit C).
   b. Trash Enclosure
      i. The three sides of the trash enclosures shall be constructed of the same brick as used on the building. Gate material on the fourth side shall be of material approved by the City.
   c. Exterior Light Fixtures
      i. Any exterior pole-mounted light fixtures used on this project shall match the approved light fixture provided within the Gateway Corridor Design Guidelines.
      ii. All exterior light fixtures must be submitted for approval.
   d. Landscaping

i. Site landscaping shall be installed and maintained in accordance with the landscaping plan provided within the CUP Plan Set (Exhibit C).

e. Signage

i. All signs shall comply with the City's sign regulations and meet the requirements of the Gateway Corridor Design Guidelines.

4. The applicant's right to maintain the Use as approved pursuant to these provisions shall be based on the following:
   a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval.
   b. The Use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
   c. All obsolete or unused structures and accessory facilities and any remaining environmental or safety hazard shall be abated and/or removed at owner's expense within the time required by applicable law or regulations, and in all cases no later than twelve (12) months of cessation of the Permitted Use.

5. Notwithstanding any other provision herein to the contrary, this Permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
   a. Owner's abandonment of the Permitted Use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
   b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Conditional Use.
   c. Owner's construction or placement of a storage tank, structure or other improvement on the premises not specified in this permit.
   d. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.

6. If the Permitted Use is not commenced within one (1) year from January 21, 2020, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to Owner's right to file for an extension of time pursuant to Section 6.04 of the La Vista Zoning Ordinance.

7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove the permitted structures or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the Owner shall reimburse the city the costs incurred to remove the same. Owner irrevocably grants to City permission to assess, impose and file with the Sarpy County Register of Deeds against the property a lien for any such costs that are not paid within 30 days. Owner hereby irrevocably grants the City, its agents and employees an easement and the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.

8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this Permit shall be binding upon Owner, his successors and assigns.

1. Delay of City to terminate this Permit on account of breach of Owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach in writing and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.

2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.

3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the Owner as follows:

Contact Name and Address: Katie DeRouchey
Casey's Retail Company
One SE Convenience Blvd
Ankeny, IA 50021

Effective Date:

This Permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

CITY OF LA VISTA CORPORATE SEAL INCORPORATED FEBR. 23, 1960 SARPY COUNTY, NEBRASKA

Attest:

_____
Pam Buethe, CMC
City Clerk

CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by Owner to be performed or discharged.

Owner:

By: _____

Title: Vice President

Date: 2/10/20

ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA)
) ss.
COUNTY OF _____)

On this _____ day of _____, 2020, before me, a Notary Public duly commissioned and qualified in and for said County and State, appeared Douglas Kindig and Pamela A. Buethe, personally known by me to be the Mayor and City Clerk of the City of La Vista, and the identical persons whose names are affixed to the foregoing Agreement, and acknowledged the execution thereof to be their voluntary act and deed and the voluntary act and deed of said City.

_____
Notary Public

ACKNOWLEDGMENT OF NOTARY

STATE OF ~~KANSAS~~ Iowa)
) ss.
COUNTY OF Polk)

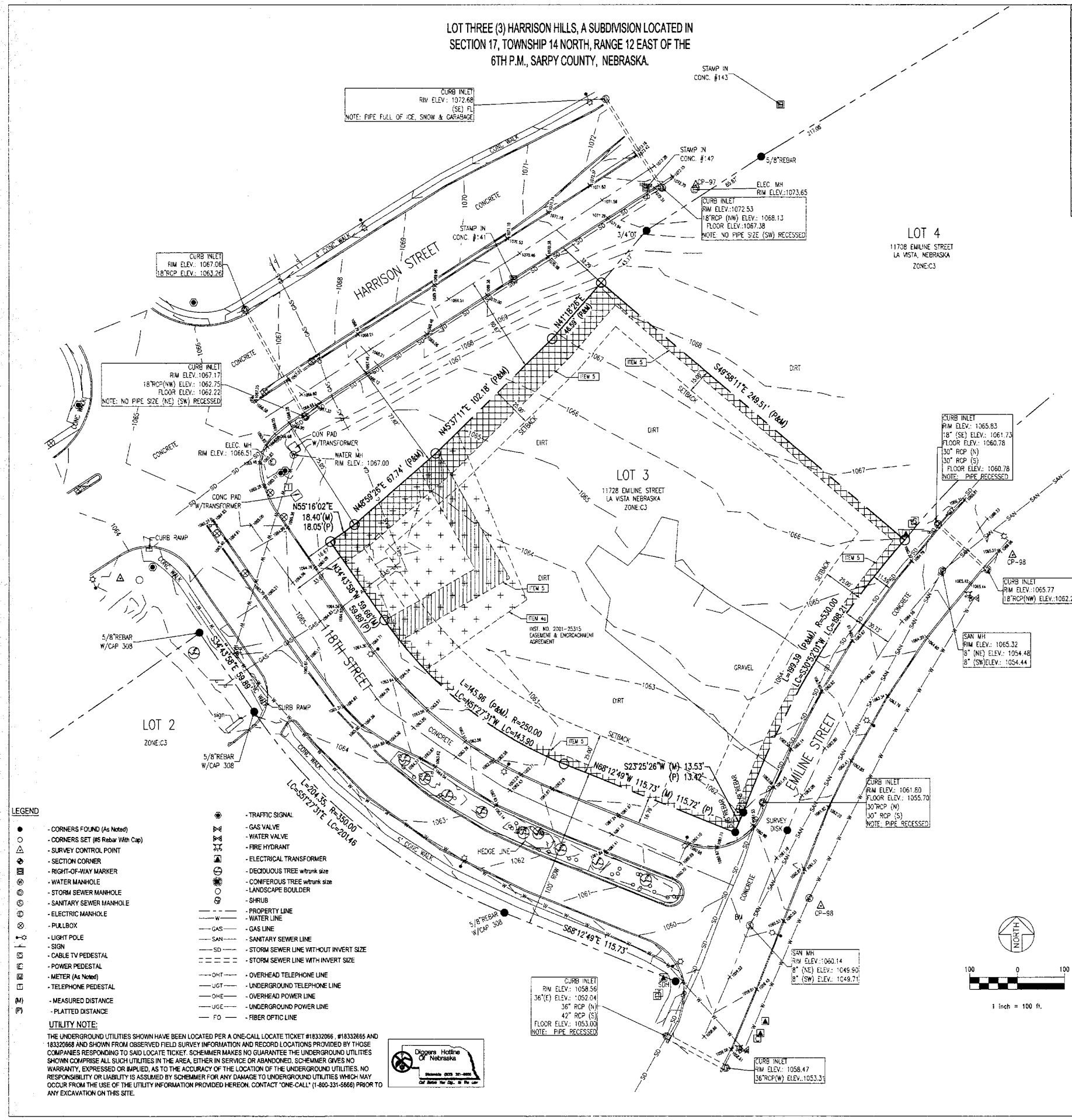
On this 10th day of February, 2020, before me, a Notary Public duly commissioned and qualified in and for said County and State, appeared Richard T. Schappert, personally known by me to be the Vice President of Casey's Retail Company, and the identical person whose name is affixed to the foregoing Agreement, and acknowledged the execution thereof to be his voluntary act and deed and the voluntary act and deed of said company.

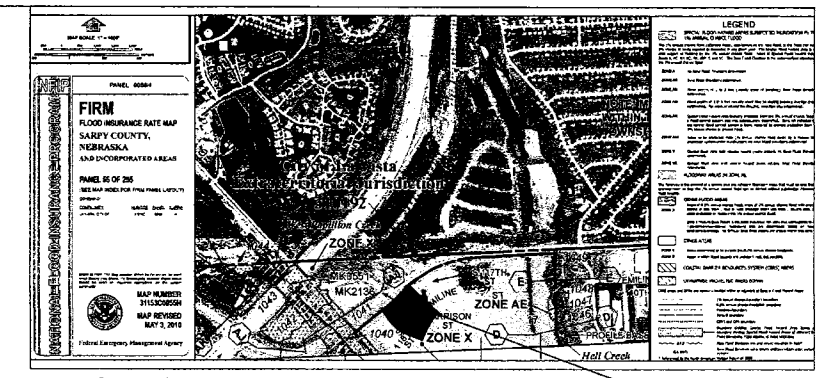
Patty A. Ewing
Notary Public

PATTY A. EWING
Commission Number 138814
My Commission Expires
3/6/22

Exhibit A

LOT THREE (3) HARRISON HILLS, A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.





FLOOD ZONE:
SUBJECT PROPERTY IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 31153C0085H, EFFECTIVE DATE: MAY 03, 2010.

ZONING:
C3 HIGHWAY COMMERCIAL/ OFFICE PARK DISTRICT
MINIMUM YARD REQUIREMENTS
FRONT YARD: 25' ONLY WHEN PARKING IS PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF 50 FEET.
SIDE YARD: 15'
REAR YARD: 15'
HEIGHT: 90' ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45' IN HEIGHT. (ORDINANCE NO. 1082, 11-18-08)

NOTE:
THE REFERENCE SYSTEM USED FOR HORIZONTAL CONTROL IS DOUGLAS/SARPY LOW DISTORTION PROJECT. THE REFERENCE SYSTEM USED FOR VERTICAL CONTROL IS NAVD 1988.

BENCHMARK: SANITARY MANHOLE AT THE INTERSECTION OF 118TH STREET AND EMILINE STREET RIM ELEVATION:1060.14

SUBJECT PROPERTY AREA: 64924.92 SQUARE FEET OR 1.49 ACRES.

ALL CURB AND GUTTER ARE CONCRETE UNLESS OTHERWISE STATED.

SPEED LIMITS: HARRISON 45MPH, 118TH STREET 25MPH, & EMILINE STREET 25MPH.

SPECIAL EXCEPTIONS AS CONTAINED IN TITLE COMMITMENT FILE NO. 35161C-18 EFFECTIVE DATE: NOVEMBER 09, 2018, 8:00AM, SUPPLIED BY OLD REPUBLIC TITLE INSURANCE COMPANY:

ITEMS 1-3 ARE NON SURVEY ITEMS.

ITEM 4: EASEMENTS GRANTED TO SOCONY-VACUUM OIL COMPANY, INCORPORATED, ITS SUCCESSORS OR ASSIGNS, AS SET FORTH IN THE RIGHT OF WAY AGREEMENT, DATED FEBRUARY 27, 1941 AND RECORDED MARCH 11, 1941 IN BOOK 10 AT PAGE 455 OF THE RECORDS OF SARPY COUNTY, NEBRASKA, AFFECTING A PORTION OF SUBJECT PROPERTY AS DESCRIBED THEREIN.

(a.) TERMS AND PROVISIONS OF MODIFICATION OF EASEMENT AND ENCROACHMENT AGREEMENT, DATED AUGUST 15, 2000, AND RECORDED AUGUST 10, 2001 AS INSTRUMENT NO. 2001-25315 OF THE RECORDS OF SARPY COUNTY, NEBRASKA, BY AND BETWEEN WILLIAMS PIPELINE COMPANY, A DELAWARE CORPORATION AND HARRISON I-80 LLC, A NEBRASKA LIMITED LIABILITY COMPANY, CONCERNING THE EASEMENT RECORDED IN BOOK 10 AT PAGE 455, RELOCATING A PORTION OF THE PIPELINES AND DEFINING AN "EASEMENT STRIP," RESERVING UNTO WILLIAMS PIPELINE COMPANY THE RIGHT OF INGRESS AND EGRESS AND THE RIGHT TO USE TEMPORARY WORK SPACE AS DESIRED, ON, OVER, AND ACROSS OWNER'S LAND, AND COVENANTS AND RESTRICTIONS CONTAINED THEREIN. (AFFECTS SUBJECT PROPERT

ITEM 5: EASEMENTS GRANTED BY PLAT AND DEDICATION OF HARRISON HILLS RECORDED APRIL 13, 2000 AT INSTRUMENT NUMBER 2000008529 OF THE RECORDS OF SARPY COUNTY, NE, IN FAVOR OF OMAHA PUBLIC POWER DISTRICT, U.S. WEST COMMUNICATIONS, INC, AND ANY COMPANY WHICH HAS BEEN GRANTED A FRANCHISE PROVIDE A CABLE TELEVISION SYSTEM IN THE AREA TO BE SUBDIVIDED, THEIR SUCCESSORS AND/OR ASSIGNS, FOR INSTALLATION AND MAINTENANCE OF UTILITY FACILITIES ON, OVER, THROUGH, UNDER AND ACROSS A 5 FOOT WIDE STRIP OF LAND ADJOINING ALL FRONT AND SIDE BOUNDARY LINES; AN 8 FOOT WIDE STRIP OF LAND ADJOINING ALL REAR BOUNDARY LINES OF INTERIOR LOTS; AND A 16 FOOT WIDE STRIP OF LAND ADJOINING THE REAR BOUNDARY LINES OF ALL EXTERIOR LOTS. PERPETUAL EASEMENT GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA AND PEOPLE'S NATURAL GAS COMPANY, THEIR SUCESSORS AND ASSIGNS, TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND RENEW, PIPELINES, HYDRANTS, AND OTHER RELATED FACILITES TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACCROSS A FIVE (5') FOOT WIDE STRIP OF LAND ABUTTING ALL CUL DE SACS.

(a.) PLAT NOTES STATE THAT THERE SHALL BE NO DIRECT VEHICULAR ACCESS ONTO HARRISON STREET OVER THE NORTHERLY LINES OF LOTS 2 THOUGH 7 INCLUSIVE. (AFFECTS SUBJECT PROPERTY)

ITEM 6: NOT SURVEY ITEM

LOT DESCRIPTION

LOT 3, HARRISON HILLS, A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M. SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3 HARRISON HILLS, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET AND THE EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHEAST ALONG THE NORTH PROPERTY LINE OF SAID LOT 3 HARRISON HILLS SAID LINE ALSO BEING SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, ON THE FOLLOWING DESCRIBED COURSES: THENCE N55°16'02"E, A DISTANCE OF 18.40 FEET; THENCE N44°59'26"E, A DISTANCE OF 67.74 FEET; THENCE N45°37'11"E, A DISTANCE OF 102.18 FEET; THENCE N41°18'26"E, A DISTANCE OF 46.59 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING ON SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 4, HARRISON HILLS; THENCE S49°58'11"E, ALONG THE EAST LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 4, HARRISON HILLS, A DISTANCE OF 248.51 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4, HARRISON HILLS, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF EMILINE STREET; THENCE SOUTHWESTERLY ALONG THE SOUTH PROPERTY LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET ON THE FOLLOWING DESCRIBED COURSES: THENCE SOUTHWESTERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 530.00 FEET, A DISTANCE OF 199.39 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S30°52'01"W, A DISTANCE OF 198.21 FEET; THENCE S23°25'26"W, A DISTANCE OF 13.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING AT THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET AND SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHWESTERLY ALONG SAID WEST PROPERTY LINE OF LOT 3 HARRISON HILLS, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET, ALONG THE FOLLOWING DESCRIBED COURSES: THENCE N68°12'49"W, A DISTANCE OF 115.73 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 250.00 FEET, A DISTANCE OF 145.96 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N51°27'31"W, A DISTANCE OF 143.90 FEET; THENCE N34°43'38"W, A DISTANCE OF 59.86 FEET, TO THE POINT OF BEGINNING.

SAID LOT HAS AN AREA OF 64924.92 SQUARE FEET, OR 1.49 ACRES MORE OR LESS

LEGAL DESCRIPTION AS CONTAINED IN TITLE COMMITMENT FILE NO. 35161C-18 EFFECTIVE DATE: NOVEMBER 09, 2018, 8:00AM, SUPPLIED BY OLD REPUBLIC TITLE INSURANCE COMPANY:

LOT THREE (3) HARRISON HILLS, A SUBDIVISION TO THE CITY OF OMAHA, AS SURVEYED, PLATTED AND RECORDED, IN THE RECORDS OF SARPY COUNTY, NEBRASKA.

LAND SURVEYORS CERTIFICATION:

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND CASEY'S RETAIL COMPANY, AN IOWA CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 8, 11, 13, 14, 17, AND 19 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS, AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEBRASKA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

NEBRASKA REGISTERED LS-696 LAND SURVEYOR ANTHONY L. BRUCKNER

ANTHONY L. BRUCKNER, RLS 696 — DATE 12-14-2018

LEGEND

- CORNERS FOUND (As Noted)
- CORNERS SET (#5 Rebar With Cap)
- SURVEY CONTROL POINT
- SECTION CORNER
- RIGHT-OF-WAY MARKER
- WATER MANHOLE
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- ELECTRIC MANHOLE
- PULLBOX
- LIGHT POLE
- SIGN
- CABLE TV PEDESTAL
- POWER PEDESTAL
- METER (As Noted)
- TELEPHONE PEDESTAL
- (M) - MEASURED DISTANCE
- (P) - PLATTED DISTANCE
- TRAFFIC SIGNAL
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- ELECTRICAL TRANSFORMER
- DECIDUOUS TREE w/trunk size
- CONIFEROUS TREE w/trunk size
- LANDSCAPE BOULDER
- SHRUB
- PROPERTY LINE
- WATER LINE
- GAS LINE
- SANITARY SEWER LINE
- STORM SEWER LINE WITHOUT INVERT SIZE
- STORM SEWER LINE WITH INVERT SIZE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD POWER LINE
- UNDERGROUND POWER LINE
- FIBER OPTIC LINE

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED PER A ONE-CALL LOCATE TICKET #18332066 , #18332665 AND 183320668 AND SHOWN FROM OBSERVED FIELD SURVEY INFORMATION AND RECORD LOCATIONS PROVIDED BY THOSE COMPANIES RESPONDING TO SAID LOCATE TICKET. SCHEMMER MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SCHEMMER GIVES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THE LOCATION OF THE UNDERGROUND UTILITIES. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SCHEMMER FOR ANY DAMAGE TO UNDERGROUND UTILITIES WHICH MAY OCCUR FROM THE USE OF THE UTILITY INFORMATION PROVIDED HEREON. CONTACT "ONE-CALL" (1-800-331-5666) PRIOR TO ANY EXCAVATION ON THIS SITE.

Diggers Hotline of Nebraska
Statewide (800) 331-5666
Call Before You Dig. It's the Law

DATE	BY	REVISIONS

DESIGNED
DRAWN KAG
DRAWN JAD
CHECKED ALB

THIS DRAWING IS BEING MADE AVAILABLE AS AN ELECTRONIC FILE AS A COURTESY. THE ENGINEER MAKES NO REPRESENTATIONS OR WARRANTIES OF ANY KIND REGARDING THE ACCURACY OF THE INFORMATION CONTAINED ON THIS DRAWING AND ANY USE OF THE DRAWING OR ANY PART THEREOF WITHOUT THE ENGINEER'S WRITTEN CONSENT IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE ENGINEER.

BOOK: 717
DATE: 12/14/2018

SCHEMMER
Design with Purpose. Build with Confidence.

CASEY'S RETAIL COMPANY
LOT 3 HARRISON HILLS
LA VISTA, NEBRASKA

ALTA/NSPS LAND TITLE SURVEY

JOB NO. 06754.044

SHEET 1 of 1

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Exhibit B

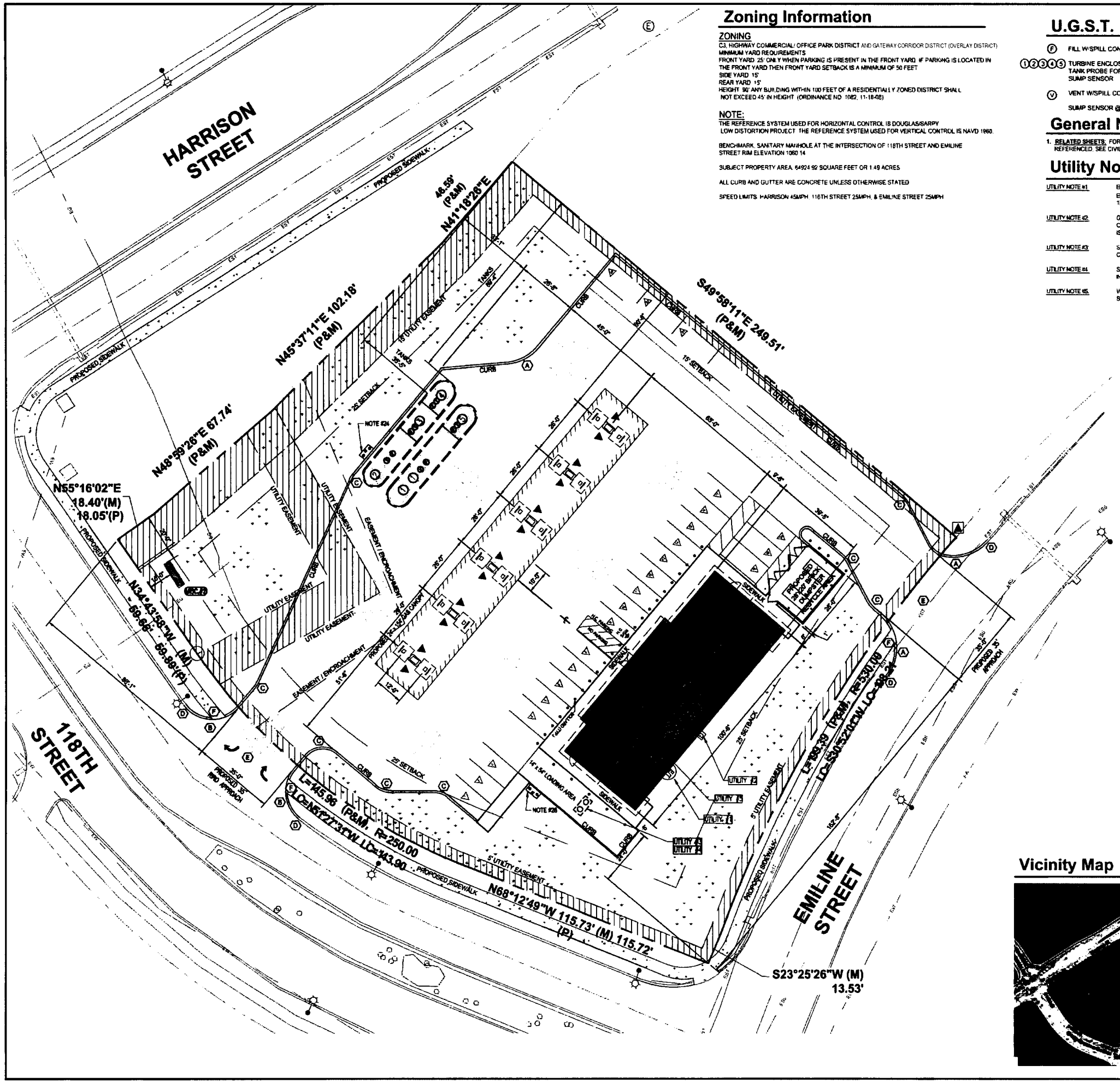
Casey's Retail Company
Project Narrative

Casey's Retail Company is proposing the construction of a convenience store with gasoline sales in LaVista, Nebraska, located at 11728 Emiline Street. The proposed development would include a one-story building consisting of 5,980 square feet, 6 double-sided fuel pumps, a 24' x 154' canopy over the fuel pumps, and two underground fuel storage tanks. The subject property is currently zoned C-3 (Commercial/Office Park) district with a Gateway Corrido District overlay. The C-3 district allows a conditional use for convenience store with limited fuel sales and alcohol sales.

The proposed Casey's General Store will be a 24-hour store, as permitted. The store will employ 20-25 employees, both part time and full-time, and include management opportunities. There are 17 designated parking spaces, 2 of which are handicap accessible, as well as 12 available spaces at the fuel pumps.

The proposed Casey's General Store will be brick on all 4 sides and the rooftop equipment will be screened. There will be faux windows on the ends and rear of the building. The dumpster will be in brick enclosure. The proposed Casey's General Store will not have any outdoor storage.

The proposed Casey's General Store will offer the following fuel products: 87E, Diesel, 87C, 91C and E85. In addition to typical convenience items, the store will have prepared food items such as pizza, made-to-order sub sandwiches, donuts, and coffee.



Zoning Information

ZONING
C3, HIGHWAY COMMERCIAL/ OFFICE PARK DISTRICT AND GATEWAY CORRIDOR DISTRICT (OVERLAY DISTRICT)
MINIMUM YARD REQUIREMENTS
FRONT YARD 25' ONLY WHEN PARKING IS PRESENT IN THE FRONT YARD IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF 50 FEET
SIDE YARD 15'
REAR YARD 15'
HEIGHT 90' ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45' IN HEIGHT (ORDINANCE NO 1082, 11-18-08)

NOTE:
THE REFERENCE SYSTEM USED FOR HORIZONTAL CONTROL IS DOUGLAS/SARPY LOW DISTORTION PROJECT THE REFERENCE SYSTEM USED FOR VERTICAL CONTROL IS NAVD 1988.

BENCHMARK, SANITARY MANHOLE AT THE INTERSECTION OF 118TH STREET AND EMILINE STREET RIM ELEVATION 1060 14

SUBJECT PROPERTY AREA, 64924 92 SQUARE FEET OR 1 49 ACRES

ALL CURB AND GUTTER ARE CONCRETE UNLESS OTHERWISE STATED

SPEED LIMITS HARRISON 45MPH 118TH STREET 25MPH, & EMILINE STREET 25MPH

U.G.S.T. Notes

(F) FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP)

(1)(2)(3)(4)(5) TURBINE ENCLOSURE TYP CONTAINS, SUB-PUMB W/LINE LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR

(V) VENT W/SPILL CONTAINMENT & EXTRACTOR

SUMP SENSOR @ EACH DISPENSER

General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY SCHEMMER ENGINEERING

Utility Notes

UTILITY NOTE #1	ELECTRICAL (C-STORE) ELECTRICAL SERVICE ENTRANCE ELECTRIC 3 PHASE 800 AMP or 1200 AMP , 480 VOLTS 4 WIRE. TELEPHONE 20 PAIR, 8 LINES
UTILITY NOTE #2	GAS (C-STORE) 1 5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION CONNECTION LOAD IS 680 MBH, TOTAL CONNECTED LOAD IS 680,000 BTU 818 CUFT HR HOUSE PRESSURE IS 7" W C
UTILITY NOTE #3	SANITARY SEWER (C-STORE) 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION
UTILITY NOTE #4	SANITARY SEWER (C-STORE) 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES
UTILITY NOTE #5	WATER (C-STORE) 2" CTS, HDPE, SDR9 CS-200 PSI WATER SERVICE CONNECTION

Legend

- MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- CONCRETE PAVING OR SIDEWALKS (46,057 SQ FT.)
- AREA TO BE SOD
- AREA LIGHTS (0 SHOWN) REFER TO LIGHTING PLAN RL-?-S1 DONE BY RED LEONARD

General Construction Notes

Exhibit C

1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS.
TANK 1 - 22 000 GALLON (87E)
TANK 2 - 14,000 GALLON (DIESEL)
TANK 3 - 8 000 GALLON (87C)
TANK 4 - 8 000 GALLON (91C)
TANK 5 - 8,000 GALLON (E85)
2.) TANK SETTING DETAILS PAGE QF-301
3.) FILL PIPE AND MANHOLE DETAIL PAGE QF -301
4.) CIRCUIT BREAKER PANEL PAGE E-501
5.) REFRIGERATION WIRING PAGE QR-602
6.) GILBARCO WIRING PAGE QF-601
7.) GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE
8.) 6 - GAS GILBARCO 700 S DISPENSERS
2 = NG1 4 NOZZLES & 8 METERS EACH
4 = NF8 6 NOZZLES & 8 METERS EACH
9.) ISLAND DETAILS PAGE AL-501
10.) ISLAND CONDUIT DETAIL PAGE E-602
11.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
12.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
13.) SIGN BASE DETAILS PAGE AL-601
14.) SIGN DETAILS PAGE AL-601
15.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
16.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
17.) CONTROL JOINTS - MIN 100 sq ft - MAX 125 sq ft - 25% DEEP
18.) CONSTRUCTION JOINTS - PINNED # O C 12" EACH WAY WITH 1/2" REBAR #4
19.) APPROACHES TO BE 7" NON REINFORCED OR AS PER STATE/CITY SPEC
20.) SLOPE MAX 2% FOR BUILDING SIDEWALK, H C PARKING 1 50 ALL DIRECTIONS
ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
21.) RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
22.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
23.) CANOPY FOOTING SIZE 6'-0" LENGTH x 6'-0" WIDTH x 3'-0" DEPTH
CONCRETE MINIMUM COMPRESSIVE STRENGTH OF F'C-3000 p s i
CONCRETE REINFORCING ASTM A-615 GRADE 60
REBAR CAGE #8 #5 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM
12" MAXIMUM SPACING
24.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
25.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF
26.) AIR COMPRESSOR BOX MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD 10' FROM BACK OF CURB 110 VOLT-60HZ-5 5 AMP 8 GAUGE MINIMUM RECOMMENDED

Keyed Construction Notes

NOTICE: ALL WORK IN/ON THE R O.W AREA IS SUBJECT TO THE CITY OF La Vista & NE D O T APPROVAL AND SPECIFICATIONS.

(A) PROPOSED 20' RADIUS
(B) PROPOSED 15' RADIUS
(C) PROPOSED 10' RADIUS
(D) TIE INTO AND MATCH EXISTING CURB & FLOW LINE
(E) 2% MAX CROSS-SLOPE IN SIDEWALK AREA.
(F) DETECTABLE SIDEWALK MAT VERIFY WITH CITY

Legal Description

LOT DESCRIPTION

LOT 3, HARRISON HILLS A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M. SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

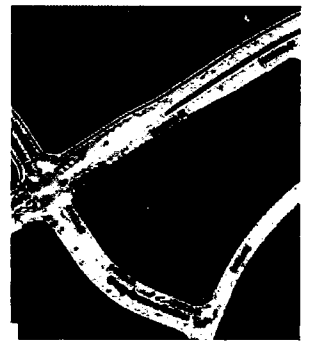
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3 HARRISON HILLS, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET AND THE EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHEAST ALONG THE NORTH PROPERTY LINE OF SAID LOT 3 HARRISON HILLS SAID LINE ALSO BEING SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, ON THE FOLLOWING DESCRIBED COURSES; THENCE N55°16'02"E, A DISTANCE OF 18.40 FEET; THENCE N48°59'26"E, A DISTANCE OF 67.74 FEET; THENCE N45°37'11"E, A DISTANCE OF 102.18 FEET; THENCE N41°18'26"E, A DISTANCE OF 46.59 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING ON SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 4, HARRISON HILLS; THENCE S49°58'11"E, ALONG THE EAST LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 4, HARRISON HILLS, A DISTANCE OF 249.51 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4, HARRISON HILLS, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF EMILINE STREET; THENCE SOUTHWESTERLY ALONG THE SOUTH PROPERTY LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET ON THE FOLLOWING DESCRIBED COURSES: THENCE SOUTHWESTERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 530.00 FEET, A DISTANCE OF 199.39 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S30°52'00"W, A DISTANCE OF 198.21 FEET; THENCE S23°25'26"W, A DISTANCE OF 13.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING AT THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET AND SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHWESTERLY ALONG SAID WEST PROPERTY LINE OF LOT 3 HARRISON HILLS, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET, ALONG THE FOLLOWING DESCRIBED COURSES: THENCE N68°12'49"W, A DISTANCE OF 115.73 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 250.00 FEET, A DISTANCE OF 145.96 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N52°27'31"W, A DISTANCE OF 143.90 FEET; THENCE N34°43'58"W, A DISTANCE OF 59.66 FEET, TO THE POINT OF BEGINNING.

SAID LOT HAS AN AREA OF 64924.92 SQUARE FEET, OR 1.49 ACRES MORE OR LESS

Misc. Notes

[redacted]

Vicinity Map



TRUE NORTH
PLAN NORTH

A1 Site Layout Plan
1" = 20'

[redacted]

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: LA VISTA, NE. HARRISON ST/118TH ST U3 STORE	06-21-19	PROJECT TITLE: SITE PLAN
	08-01-19	
	08-07-19	
DRAWING INFORMATION: CONSTRUCTION DIVISION		
DRAWN BY: J VILMAIN	CHECKED BY:	AL-101

CSW-201903863

LAV-20190729-5096-T

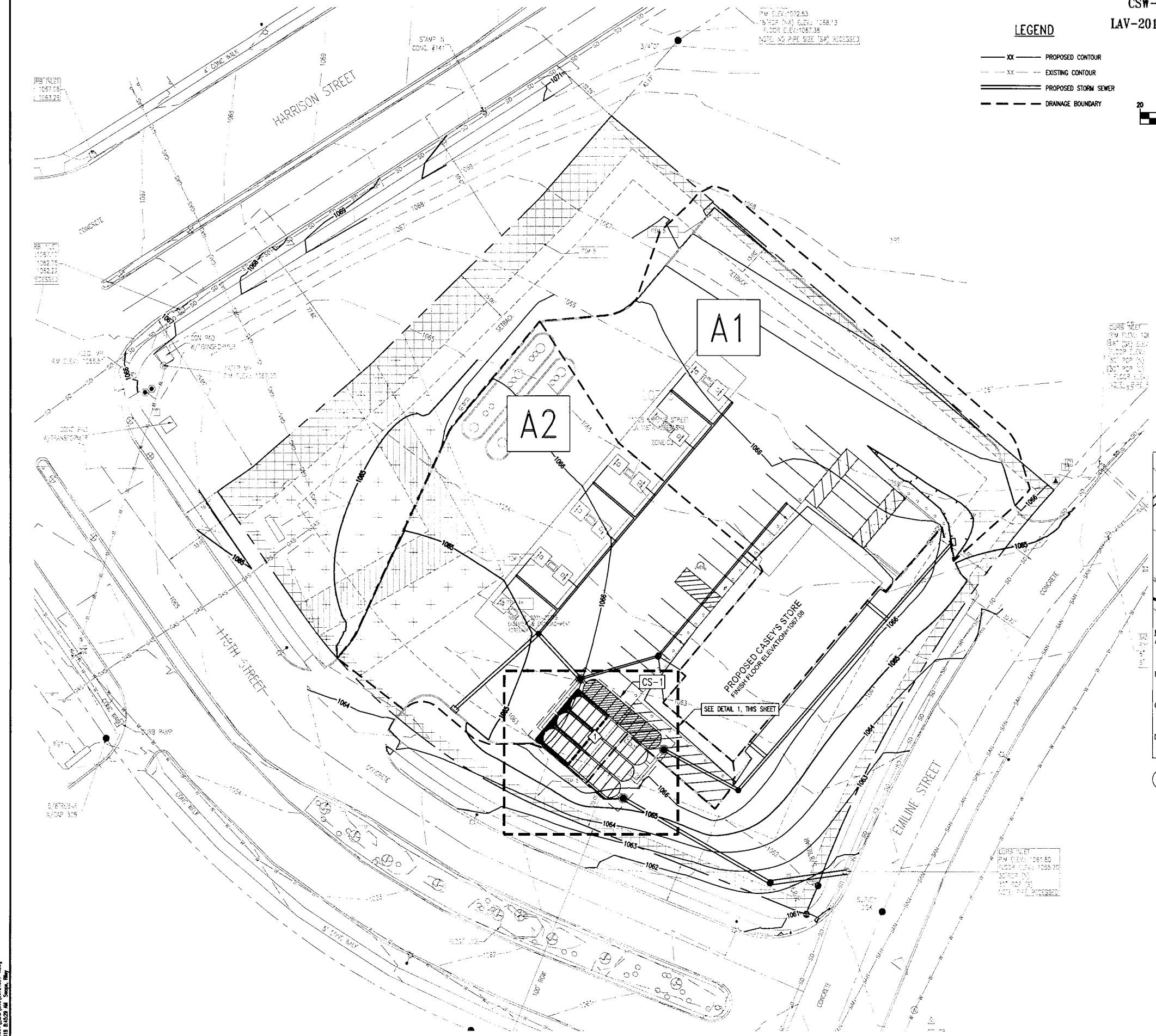
LEGEND

- XX — PROPOSED CONTOUR
- XX — EXISTING CONTOUR
- PROPOSED STORM SEWER
- DRAINAGE BOUNDARY

NORTH

20 0 20

1 inch = 20 ft.



REFERENCED CONSTRUCTION NOTES(X):

1. SEE C-603 AND DETAILS THIS SHEET FOR ADDITIONAL INFORMATION.

BMP CALCULATIONS

BMP ID #	TYPE	DRAINAGE AREA	EXISTING 100-YEAR RUNOFF	PROPOSED 100-YEAR RUNOFF
CS-1	ROCK CHAMBER STORAGE WITH ISOLATOR ROW	1.00 AC.	4.32 CFS	4.22 CFS

DRAINAGE AREA	PRE CONSTRUCTION		POST CONSTRUCTION	
	IMPERVIOUS	PERVIOUS	IMPERVIOUS	PERVIOUS
A1	0.07 AC.	0.48 AC.	0.53 AC.	0.02 AC.
A2	0.07 AC.	0.38 AC.	0.45 AC.	0.00 AC.

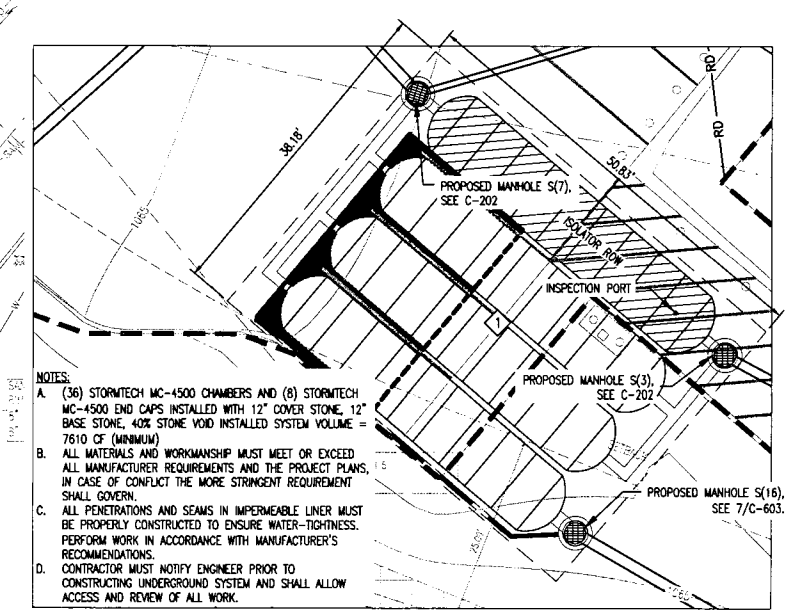
PCSMP NOTES:

A. THE OWNER SHALL CONTROL LITTER. THIS SHALL BE DONE BY HAVING THE ADEQUATE NUMBER OF TRASH RECEPTACLES LOCATED ON SITE. THE RECEPTACLES SHALL BE EMPTIED REGULARLY OR WHEN FULL. TRASH DUMPSTERS SHALL HAVE COVERS ON THEM, AND THE COVERS SHALL REMAIN CLOSED.

B. STREETS, PARKING LOT, AND SIDEWALK SHALL BE SWEPT WHEN DIRT OR DUST BECOMES PRESENT. POWER WASHING OR HOSING OFF WILL NOT BE ALLOWED.

C. ALL INLETS IN THE PAVEMENT AREAS SHALL HAVE LABELS STATING, "NO DUMPING – DRAINS TO LIVE STREAM".

D. PERIMETER OF SITE WILL BE OBSERVED REGULARLY TO PICK UP ANY LITTER ON OWNER'S PROPERTY.



NOTES:

A. (36) STORMTECH MC-4500 CHAMBERS AND (8) STORMTECH MC-4500 END CAPS INSTALLED WITH 12" COVER STONE, 12" BASE STONE, 40% STONE VOID INSTALLED SYSTEM VOLUME = 7610 CF (MINIMUM)

B. ALL MATERIALS AND WORKMANSHIP MUST MEET OR EXCEED ALL MANUFACTURER REQUIREMENTS AND THE PROJECT PLANS. IN CASE OF CONFLICT THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

C. ALL PENETRATIONS AND SEAMS IN IMPERMEABLE LINER MUST BE PROPERLY CONSTRUCTED TO ENSURE WATER-TIGHTNESS. PERFORM WORK IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

D. CONTRACTOR MUST NOTIFY ENGINEER PRIOR TO CONSTRUCTING UNDERGROUND SYSTEM AND SHALL ALLOW ACCESS AND REVIEW OF ALL WORK.

1 STORMTECH UNDERGROUND STORAGE SYSTEM CS-1 (ENLARGED PLAN)
SCALE: 1"=10'

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PROJECT: CASEY'S GENERAL STORE
11728 EMILINE STREET
LA VISTA, NE 68128

PROJECT NUMBER: 06754.064

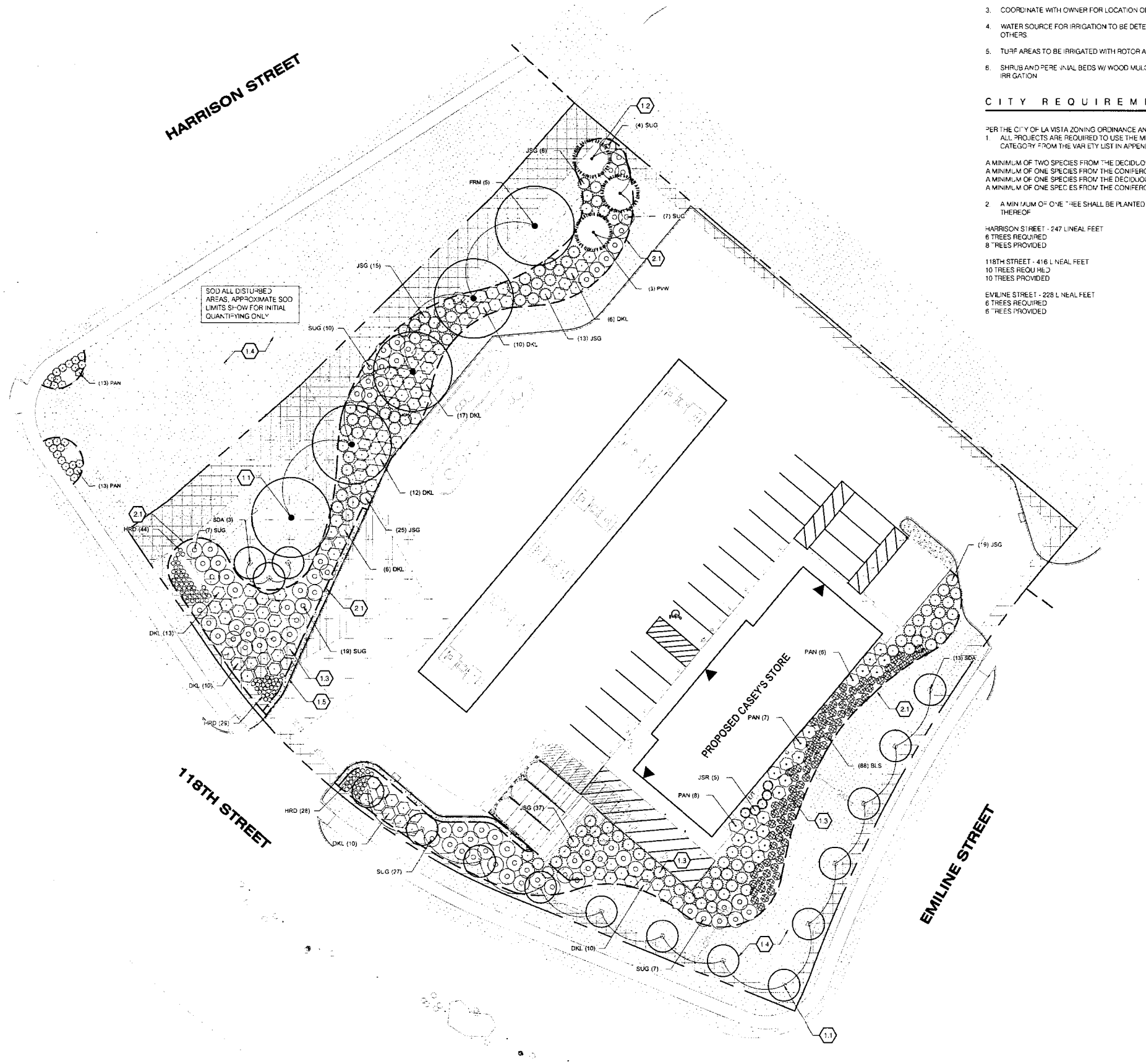
DRAWN BY: RSS | CHECKED BY: RMD

PUBLISHED: 07/14/2019

DRAWING TITLE: POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

C-203

P:\06754\064_CASEY'S-LA VISTA\06754-064-1.dwg
11/6/2018 8:42:29 AM Steven.Ring



1 **LANDSCAPE PLAN**

SCALE 1" = 20'

IRRIGATION NOTES

1. CONTRACTOR IS TO DESIGN IRRIGATION SYSTEM, INCLUDING, BUT NOT LIMITED TO, PIPING, VALVES, WIRING, POINTS OF CONNECTION, HEAD LOCATIONS, ETC.
2. CONTRACTOR TO SUBMIT SHOP DRAWING TO OWNER SHOWING IRRIGATION DESIGN FOR APPROVAL PRIOR TO INSTALLATION.
3. COORDINATE WITH OWNER FOR LOCATION OF IRRIGATION CONTROLLER.
4. WATER SOURCE FOR IRRIGATION TO BE DETERMINED AND WILL NEED TO BE COORDINATED WITH OTHERS.
5. TURF AREAS TO BE IRRIGATED WITH ROTOR AND SPRAY TYPE HEADS.
6. SHRUB AND PERENNIAL BEDS W/ WOOD MULCH TO BE IRRIGATED WITH DRIP AND EMITTER TYPE IRRIGATION.

CITY REQUIREMENTS

PER THE CITY OF LA VISTA ZONING ORDINANCE AND GATEWAY CORRIDOR DESIGN GUIDELINES:

1. ALL PROJECTS ARE REQUIRED TO USE THE MINIMUM NUMBER OF SPECIES UNDER EACH CATEGORY FROM THE VARIETY LIST IN APPENDIX A:

A MINIMUM OF TWO SPECIES FROM THE DECIDUOUS TREE CATEGORY (REQUIREMENT MET)
A MINIMUM OF ONE SPECIES FROM THE CONIFEROUS TREE CATEGORY (REQUIREMENT MET)
A MINIMUM OF ONE SPECIES FROM THE DECIDUOUS SHRUBS CATEGORY (REQUIREMENT MET)
A MINIMUM OF ONE SPECIES FROM THE CONIFEROUS SHRUBS CATEGORY (REQUIREMENT MET)

2. A MINIMUM OF ONE TREE SHALL BE PLANTED FOR EVERY FORTY LINEAL FEET OR FRACTION THEREOF.

HARRISON STREET - 247 LINEAL FEET
6 TREES REQUIRED
8 TREES PROVIDED

118TH STREET - 416 LINEAL FEET
10 TREES REQUIRED
10 TREES PROVIDED

EMILINE STREET - 228 LINEAL FEET
6 TREES REQUIRED
6 TREES PROVIDED

PLANTING NOTES

1. FIELD STAKE ALL TREE AND SHRUB LOCATIONS BASED UPON THESE PLANS. OBTAIN ARCHITECTS APPROVAL OF STAKED LOCATIONS PRIOR TO PLANTING.
2. PROVIDE MATCHING SIZES AND FORMS FOR EACH TREE TO BE INSTALLED.
3. PLANT MATERIAL TO BE HEALTHY SPECIMENS, FREE FROM DISEASE OR DAMAGE.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN
5. ALL ROOT WRAPPING MADE OF METAL, SYNTHETIC OR PLASTIC MATERIAL SHALL BE REMOVED AT TIME OF PLANTING.
6. PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL BY ARCHITECT BEFORE INSTALLATION.
7. ALL PLANT AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
9. PLANT QUANTITIES ARE PROVIDED FOR CONTRACTORS CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND PLANT SPACING.
10. ALL DECIDUOUS TREES SHALL BE WRAPPED. REFER TO SPECIFICATIONS FOR WRAP TYPE AND TIMING.
11. PLANT AND EDGING LAYOUT SHALL TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. INSTALLED VALVE BOXES WHICH CONFLICT WITH ACCEPTED PLANT AND EDGING LAYOUT SHALL BE MOVED TO A LOCATION BETWEEN PLANTS AS DIRECTED BY ARCHITECT AT NO ADDITIONAL COST TO OWNER.
12. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS INCLUDING SOD/SEED AREAS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLECT BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE. REFER TO SPECIFICATIONS.
13. PROJECT INCLUDES IRRIGATION AND UTILITY SYSTEMS, MANY OF WHICH ARE CLOSE TO THE FINISHED SURFACE. VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PLANTING. ANY CONFLICTS SHALL BE RESOLVED IN THE FIELD BY THE ARCHITECT.
14. ALL SHRUB AREAS ARE TO BE PREPARED AS CONTINUOUS BEDS.

MATERIAL KEYNOTES

1.0 PLANTING
- 1.1 DECIDUOUS TREE
- 1.2 EVERGREEN TREE
- 1.3 SHRUB/PERENNIAL PLANTING BED W/ WOOD MULCH
- 1.4 IRRIGATED TURF
- 1.5 DECORATIVE GRAVEL

2.0 EDGES
- 2.1 STEEL EDGER

PLANT SCHEDULE

DECIDUOUS TREES	CODE	COMMON NAME	BOTANICAL NAME	SIZE	CAL	QTY
	FRM	FREEMAN MAPLE	ACER X FREEMANII	B & B	2.5" CAL	5

EVERGREEN TREES	CODE	COMMON NAME	BOTANICAL NAME	SIZE	CAL	QTY
	JSR	SKYROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'	B & B	6"	5
	PVW	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	B & B	6'	3

ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	SIZE	CAL	QTY
	SDA	SNOWDRIFT CRABAPPLE	MALUS X 'SNOWDRIFT'	B & B	2.5" CAL	18

SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	-	QTY
	DKL	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL		95

EVERGREEN SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT		QTY
	JSG	SEA GREEN JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	3 GAL		118

DECIDUOUS SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	-	QTY
	BLS	TOR BIRCHLEAF SPIREA	SPIRAEA BETULIFOLIA 'TOR'	5 GAL		88
	SUG	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL		81

GRASSES	CODE	COMMON NAME	BOTANICAL NAME	CONT	-	QTY
	PAN	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	1 GAL		76
		PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	5 GAL		21

PERENNIALS	CODE	COMMON NAME	BOTANICAL NAME	CONT	-	QTY
	HRD	HAPPY RETURNS DAYLILY	HEMEROCALLIS X 'HAPPY RETURNS'	1 GAL		171

GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME	SPACING		QTY
	DRC	1.5" DECORATIVE ROCK		N/A		477 SF
	SOD	SOD		N/A		42,158 SF

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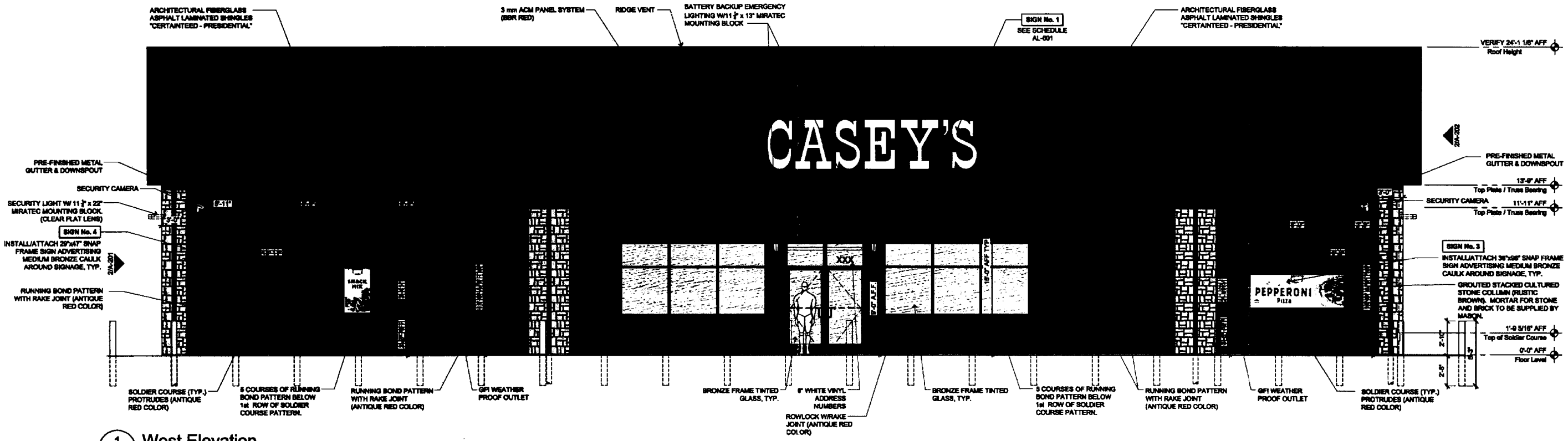
PROJECT
CASEY'S GENERAL STORE
11728 EMILINE STREET
LA VISTA, NE 68128

PROJECT NUMBER
06754.064

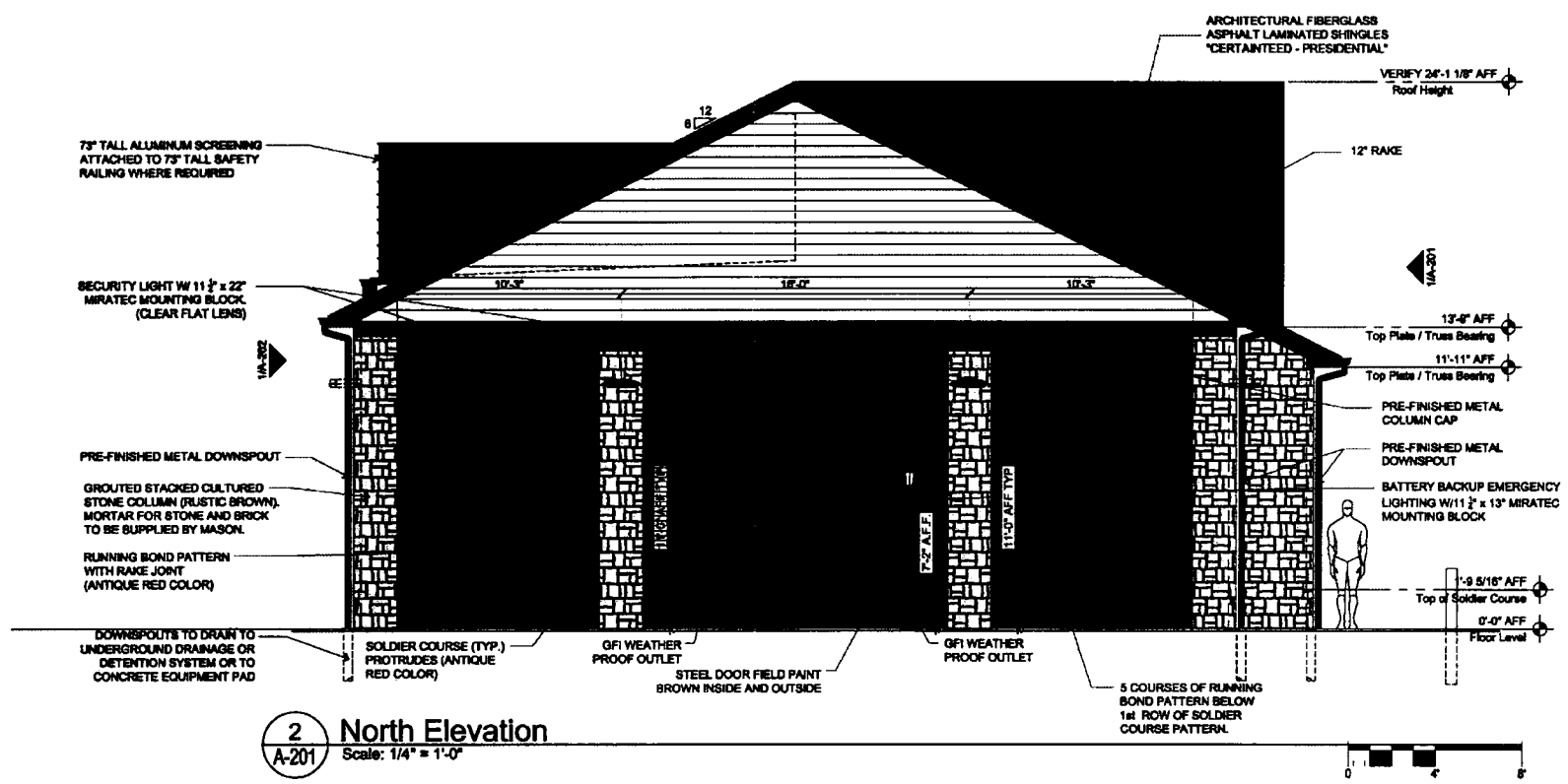
PLOT DATE
08/13/2019

DRAWING NUMBER
L-100

LANDSCAPE PLAN



1 A-201 **West Elevation**
Scale: 1/4" = 1'-0"



2 A-201 **North Elevation**
Scale: 1/4" = 1'-0"

General Notes

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:
   AL-101: FOR BUILDING LOCATION ON SITE
   AL-601: FOR INFORMATION RELATING TO SIGNAGE
   A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
   A-121: ROOF PLAN/ROOF TOP EQUIPMENT
   A-601: DOOR & WINDOW SCHEDULES AND NOTES
   S-101: FOOTINGS AND FOUNDATIONS
   S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS / SATIN FINISH

   COLOR: CUSTOM ARNING CIN ETT TAN

BAC	Blend-a-Color	O2	32	84	128
B1	Black	-	-	1	-
N1	Raw Umber	-	23	1	1
Y3	Deep Gold	-	5	1	-

   WHITE & PASTEL TINT BASE (1 GALLON USE)

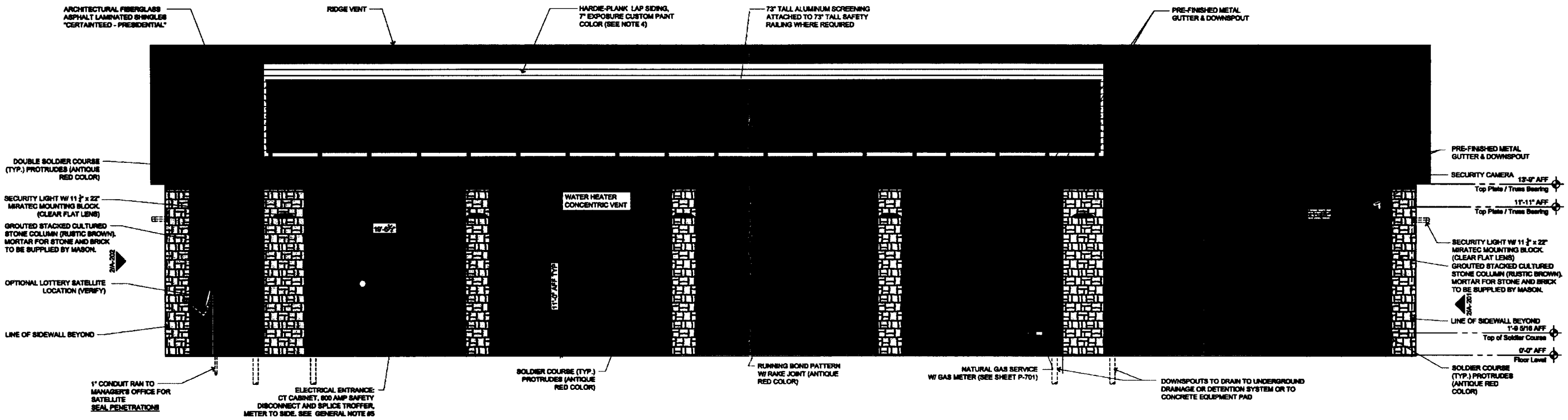
   (CUSTOM SHER-COLOR FORMULA MATCH)
5. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

FIELDS DESIGN SERVICES
Architecture | Engineering | Surveying
2323 Grand Avenue, Des Moines, Iowa 50312 | P.O. Box 4629 Des Moines, Iowa 50305 | P: 515-285-6100 F: 515-288-2259
FIELDS JOB NO. 19-065

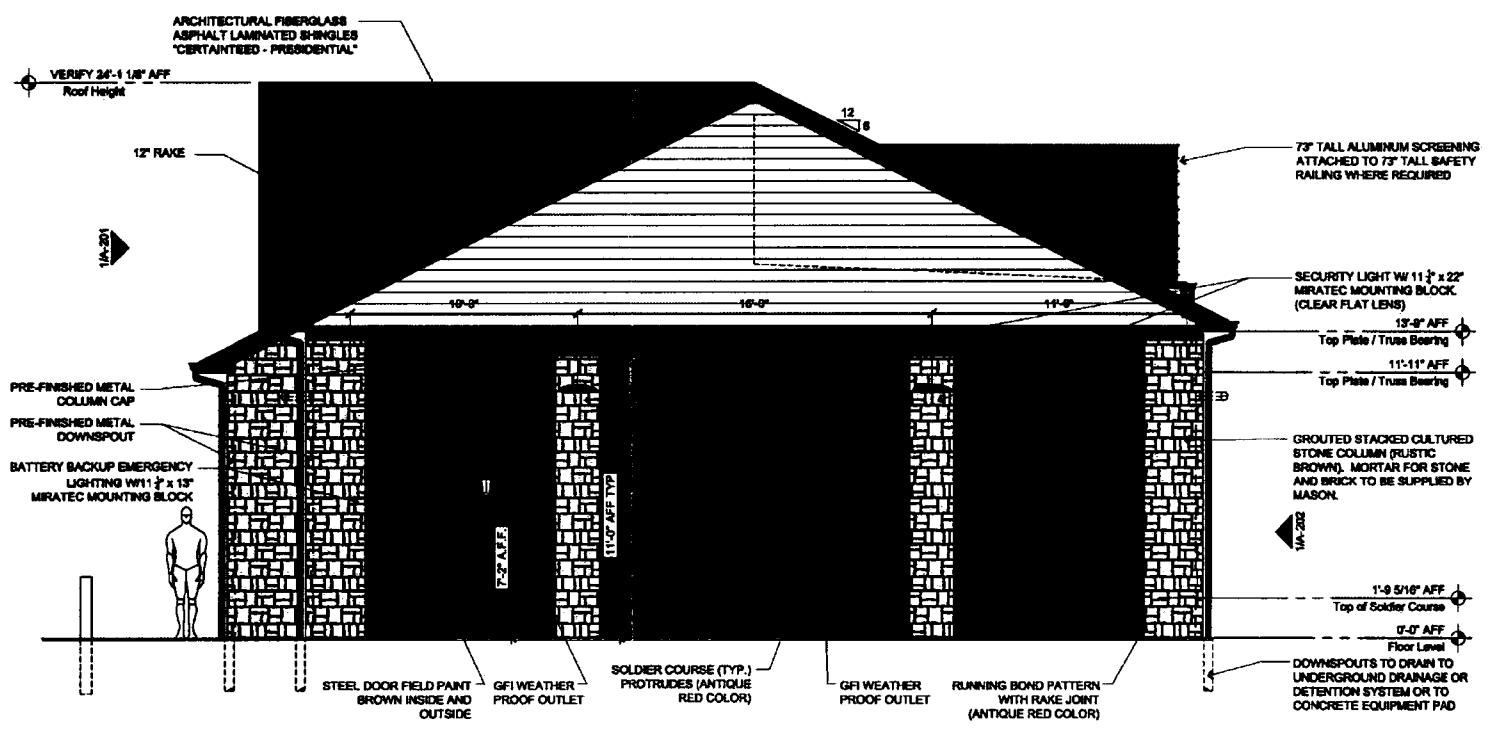
CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: HARRISON ST & 118TH ST LA VISTA, NE	PLOT DATE: 9/26/19
DRAWING INFORMATION: CONSTRUCTION DIVISION	SHEET TITLE: EXTERIOR ELEVATIONS
DRAWN BY: BRYAN RAHN / CHECKED BY: DANIEL WILLRICH	A-201



1 A-202 **East Elevation**
Scale: 1/4" = 1'-0"



2 A-202 **South Elevation**
Scale: 1/4" = 1'-0"

General Notes

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:
   - AL-101: FOR BUILDING LOCATION ON SITE
   - AL-601: FOR INFORMATION RELATING TO SIGNAGE
   - A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
   - A-121: ROOF PLAN/ROOF TOP EQUIPMENT
   - A-601: DOOR & WINDOW SCHEDULES AND NOTES
   - S-101: FOOTINGS AND FOUNDATIONS
   - S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS / SATIN FINISH

   COLOR: CUSTOM ARNING C/N ETT TAN

BAC	Blend-a-Color	OZ	32	64	128
B1	Black	-	-	1	-
N1	Raw Umber	-	23	1	1
Y3	Deep Gold	-	9	1	-

   WHITE & PASTEL TINT BASE (1 GALLON USE)

   (CUSTOM SHER-COLOR FORMULA MATCH)
5. ELECTRICIAN TO INFORM GENERAL CONTRACTOR ON SIZE AND LOCATION OF CT CABINET(S) REQUIRED BY LOCAL POWER COMPANY. IF CABINET(S) CANNOT BE MOUNTED COMPLETELY ABOVE THE BRICK, STEPS MUST BE TAKEN TO ACCOUNT FOR THE LOCATION OF THE CABINET(S) TO BE RECESSED IN THE BRICK IF IT HAS NOT BEEN INSTALLED AT THE TIME THE BRICK IS BEING LAID.
6. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

FIELDS DESIGN SERVICES
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FIELDS JOB NO. 19-488

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: HARRISON ST & 118TH ST LA VISTA, NE	PUBLISHED: 9/26/19	DRAWING NAME: EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION		A-202
DRAWN BY: BRYAN RAHN	REVIEWED BY: DANIEL WILLRICH	

Exhibit D

Combined Traffic Study to Include Impacts from Casey's

STRECK LABS

DRAFT TRAFFIC STUDY

LRA Job Number 0118087.03-119

(Conclusions & Recommendations Only)

October 2019

Prepared For:

Streck Labs

&

City of Omaha

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City of La Vista

LAMP RYNEARSON

CHAPTER 6: CONCLUSIONS AND RECOMMENDATIONS

Following are the main conclusions and recommended improvements:

- The site is anticipated to generate a total of 274 trips in the AM peak hour and 248 trips in the PM peak hour. In the AM peak hour, 241 vehicle trips will be entering the site and 33 trips exiting the site. For the PM peak hour, there will be 42 trips entering the site and 206 trips exiting the site.
- The gas station is anticipated to generate 244 trips in the AM peak hour with 122 trips entering and 122 trips exiting. For the PM, the gas station generates 324 trips with 162 trips entering and 162 trips exiting.
- An annual growth rate of 1.1 percent was used for this study.
- Synchro analysis shows that the lane configuration of the existing roadway network has the capacity to handle the anticipated trips generated from the proposed development.
- Based off of the MUTCD Warrant 2 (Four-Hour) and the MUTCD Warrant 3 (Peak Hour), the unsignalized intersection of 115th Street/116th Street and Harrison Street is not anticipated to warrant the need for a traffic signal in any scenario.
- Multiple movements are anticipated to operate at a LOS of F in various scenarios. The eastbound and southbound movements at the intersection of 118th Street/Harry Anderson Boulevard and Harrison Street operate at a LOS of F in background scenarios. By updating these movements to add a permissive/protected phase to the traffic signal, these movements are improved. The northbound and southbound left turning movements at the intersection of 115th Street/116th Street and Harrison Street are shown to be operating at a LOS of F in both the AM and PM peak hour in the background scenarios. This is also the case for the northbound and southbound right turning movement in the PM peak hour. This delay is not uncommon for the minor legs of an unsignalized intersection.
- Analysis shows that there could be situations where queuing could extend outside of the storage lane in various scenarios. The largest queuing length occurs along the south leg at the intersection of 115th Street/116th Street and Harrison Street.

The northbound right turning movement is shown to currently have a poor queue which is not uncommon for the minor legs of an unsignalized intersection.